

RESOLUTION NO. 2017-010

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROHNERT PARK, CALIFORNIA, APPROVING AMENDMENTS TO THE STADIUM AREA MASTER PLAN, ADOPTION OF A FINAL DEVELOPMENT PLAN AND CONDITIONAL USE PERMIT FOR THE RESIDENCES AT FIVE CREEK PROJECT (APN 143-040-124)

WHEREAS, MJW Investments, LLC, filed Planning Application No. PLDV2016-0001 proposing a General Plan Amendment, amendment to the Stadium Area Master Plan (a Planned Development), adoption of a Final Development Plan (including a related Conditional Use Permit) and a Development Agreement and Planning Application No. PLEN 2016-0003 for the related certification of a Mitigated Negative Declaration (“MND”) and Planning Application No. PLSD2016-0001 proposing a Tentative Map for a proposed project on a 15.30 acre parcel located at 5900 Labath Avenue (APN 143-040-124), in accordance with the City of Rohnert Park Municipal Code (“RPMC”); and

WHEREAS, the proposed amendment to the SAMP would change the land use designation on the 12.62 acre project site from its current designation of Regional Commercial to Regional Commercial, High Density Residential and Parks/Recreation. A copy of the SAMP with red-lined changes, corrections to the text and new graphics is incorporated into this Resolution as Exhibit 1; and

WHEREAS, the proposed Residences at Five Creek Final Development Plan would allow for the development of 135 units of multi-family residential, 132 hotel rooms, 34,300 square feet of retail and service commercial, a 0.65 acre city park and the related infrastructure and improvements to support the project as specified in Exhibit 2; and

WHEREAS, prior to development of any phase in the Stadium Area Planned Development, a Conditional Use Permit (CUP) is required. A CUP has been requested as an entitlement by MJW Investments for the Residences at Five Creek Project; and

WHEREAS, the City has assessed the potential environmental impacts associated with the Project and has prepared a Mitigated Negative Declaration. The Planning Commission reviewed the Mitigated Negative Declaration prepared for the Project; recommended its approval by the City Council; and has otherwise carried out all requirements for the Project pursuant to CEQA; and

WHEREAS, pursuant to California State Law and the RPMC, public hearing notices were mailed to all property owners within an area exceeding a three hundred foot radius of the subject property and a public hearing was published for a minimum of 10 days prior to the first public hearing in the Community Voice; and

WHEREAS, on December 8, 2016, the Planning Commission held a public hearing which was continued to December 22, 2016 at which time interested persons had an opportunity to testify either in support or opposition to the proposal; and

WHEREAS, the Planning Commission reviewed and considered the information contained in the proposed SAMP Amendment, Final Development Plan and Conditional Use Permit; and

WHEREAS, the Planning Commission voted 4-0 to recommend approval of the proposed SAMP Amendment, Final Development Plan, and Conditional Use Permit; and

WHEREAS, on January 10, 2017, the City Council held a public hearing at which time interested persons had an opportunity testify either in support or opposition to the proposed SAMP Amendment, Final Development Plan, and Conditional Use Permit; and

WHEREAS, the City Council has reviewed and considered the information contained in the proposed SAMP Amendment, Final Development Plan, and Conditional Use Permit.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Rohnert Park makes the following findings, determinations and recommendations with respect to the proposed SAMP Amendment, Final Development Plan, and Conditional Use Permit:

Section 1. The above recitations are true and correct.

Section 2. The City Council approved the Mitigated Negative Declaration for this Project concurrently with the City Council's approval of this Resolution.

Section 3. Findings Regarding Proposed SAMP Amendment. City Council hereby makes the following findings concerning the SAMP amendment proposed by Planning Application No. PLDV2016-0001:

1. *That the proposed SAMP amendments are consistent with the General Plan.*

Criteria Satisfied. The proposed amendment to the SAMP would change text and graphics with the SAMP document. The Residences at Five Creek, Final Development Plan would be incorporated into the SAMP document as part of this action. The land use designations of the site will change from Regional Commercial to High Density Residential, Regional Commercial and Parks/Recreation. This change facilitates the development of the Residences at Five Creek project as proposed with an apartment complex, public park, hotel and retail center. The Residences at Five Creek project site is within the boundaries of the SAMP area. Approved land uses within the boundaries of the SAMP include: High Density Residential (12-24 units/acre), Commercial-Regional, and Parks/Recreation. The 12.62 acre parcel is within the SAMP and is designated Regional Commercial. The project proposes to utilize the project site to develop 135 high density residential units, 34,300 square feet of retail commercial and a 0.65 acre public park. The project site would result in an increase in the number of residential units approved under the SAMP from 338 to 473 units.

The proposed project site is located within the SAMP boundaries where other high density residential projects have been constructed and is adjacent to existing retail commercial development. Therefore, the amendment to the SAMP would be appropriate for development under the General Plan's High Density Residential land use designation, Retail Commercial designation and Parks/Recreation designation, as recommended for amendment.

The proposed development would provide a diversity of land uses. The site will have access to services necessary to serve multi-family development, including: proximity to retail and employment uses; access to recreational facilities (e.g. Hinebaugh Creek

path and new park); and available infrastructure capacity (roads, public utilities, etc.). The inclusion of park space within the project ensures that adequate park and open space area is available to all multi-family uses within the Stadium Area Master Plan.

The project promote General Plan policies related to the promotion of a compact urban form, an increased connectivity between and within neighborhoods, the designation of pedestrian oriented activity centers, a variety of housing and a mix of housing types, the protection of creeks and provision of a network of trails and parks, and a land use pattern to maximize accessibility to parks and commercial centers.

2. *That the proposed amendment will not result in an internal inconsistency in the General Plan.*

Criteria Satisfied. The SAMP Amendment is discussed in the application materials, the Mitigated Negative Declaration, resolution adopting the General Plan amendment and staff report. The City adopts the conclusions and analysis of those document regarding General Plan consistency and incorporates these by reference. The Project, including the General Plan Amendment, is consistent with the General Plan, as recommended for amendment, and will result in an internally consistent General Plan.

3. *That a duly noticed public hearing has been held to receive and consider public testimony regarding the proposed amendments to the General Plan Land Use Diagram.*

Criteria Satisfied. A duly noticed public hearing on the proposed General Plan Amendment was held on January 10, 2017.

Section 4. Findings Regarding the Final Development Plan. The City Council hereby makes the following findings concerning the Residences at Five Creek, Final Development Plan proposed by Planning Application No. PLDV2016-0001:

1. *That Each individual component of the development can exist as an independent unit capable of creating an environment of sustained desirability and stability, and the uses proposed will not be detrimental to present and potential surrounding uses but instead will have a beneficial effect which could not be achieved under another zoning district;*

Criteria Satisfied. The Residences at Five Creek Final Development Plan establishes four components (apartments, hotel, park, shopping center) for the development to be built in two phases. The first phase would involve the construction of the hotel, apartments, and park. The shopping center would be built as a second phase. Each component can exist as an independent unit with the necessary financial capacity to support development of infrastructure and related facilities therein. As described in the Final Development Plan and the staff report, each project phase incorporates a variety of complementary uses which provide housing, access to parks and open space, pedestrian and bicycle friendly infrastructure, and commercial development. A mixed use project of this type could not be achieved under any other zoning district because the City currently lacks zoning that would allow for this mixture of land uses.

2. *The streets and thoroughfares proposed meet the standards of the city and adequate infrastructure can be supplied to all phases of the development;*

Criteria Satisfied. As described in the Final Development Plan and staff report each Phase of the Project is designed to have adequate infrastructure, integrated with existing

City roadways, street, bicycle paths, and walkways. All publicly owned streets and thoroughfares will meet the standards of the City.

3. *Any commercial component complements other uses in the development;*

Criteria Satisfied. As described in the Final Development Plan and the staff report, the Project incorporates a variety of complementary uses which provides housing, access to parks and open space, pedestrian and bicycle friendly infrastructure. These complement to Project's commercial component. The Final Development Plan provides for commercial component to be integrated with residential and other components throughout the Project site complementing those components by enhancing public convenience, employee access to recreational amenities and, reducing commuter and traffic congestion. The mixed use character of the Final Development Plan allows commercial components of the Project to complement other Project components.

4. *Any residential component will be in harmony with the character of the surrounding neighborhood and community and will result in densities within the P-D district that are no higher than that permitted by the general plan;*

Criteria Satisfied. As described in the Final Development Plan and staff report, the Project will provide for housing consistent with the designated High Density Residential General Plan category. This will result in a similar residential intensity to the recently completed Fiori Estates and The Reserve apartment complexes to the north. The Final Development Plan provides for commercial components to be accessible to the residential uses by creating an integrated pedestrian circulation system.

5. *Any industrial component conforms to applicable desirable standards and will constitute an efficient, well-organized development with adequate provisions for railroad and/or truck access and necessary storage and will not adversely affect adjacent or surrounding development;*

Criteria Satisfied. No industrial land uses are proposed as part of this Project.

6. *Any deviation from the standard zoning requirements is warranted by the design and additional amenities incorporated in the final development plan, which offer certain unusual redeeming features to compensate for any deviations that may be permitted;*

Criteria Satisfied. The Final Development is consistent with the amended Stadium Area Master Plan which was established when this property was originally zoned P-D. Minor deviations to the zoning ordinance and Rohnert Park design standards are proposed. Zoning ordinance deviations limit the range of permitted land uses allowed to reduce potential conflict between the commercial and residential land uses. Deviations from the City's Design Guideline area proposed to allow for the "Modern" architectural style proposed for the project. This will help ensure that all project components are built using a similar design style (Modern) and remain visually consistent.

7. *The P-D zoning district is consistent with the general plan of the city and any applicable specific plan.*

Criteria Satisfied. The Final Development Plan is proposed concurrently with an amendment to the General Plan land use designations from Regional Commercial to a combination of Regional Commercial, Parks and Recreation and High Density Residential to allow a variety of residential, commercial, public, recreational and other uses which conform to the Project's mixed use character. The proposed Final Development Plan is wholly consistent with the General Plan, as recommended to be amended.

Section 5. Findings Regarding the Conditional Use Permit. The City Council hereby makes the following findings concerning the Conditional Use Permit proposed by Planning Application No. PLDV2016-0001:

1. *That the proposed location of the conditional use is consistent with the objectives of the zoning ordinance and the purposes of the district in which the site is located.*

Criteria Satisfied. The Conditional Use Permit is consistent with and help to implement the Planned Development. The Conditional Use Permit applies to the Residences at Five Creek, Final Development Plan project site and is in conformance with the proposed amended Stadium Area Master Plan land use designations for the subject property. The proposed uses are compatible and development will comply with development standards (e.g. required building setbacks, parking, open space and building height) and other requirements within the Rohnert Park Municipal Code. As part of the CUP, Conditions of Approval will be adopted that will be apply at each step of the site and building development process to ensure that the development of the site is consistent with adopted regulations, standards and guidelines. Each phase of the development will go through Site Plan and Architectural Review resulting in an attractive development that conforms to all of the requirements of the Zoning Ordinance.

2. *That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity, and that the operation and maintenance of the conditional use will be compatible with the surrounding uses.*

Criteria Satisfied. The surrounding properties are a mixture of commercial, residential and light industrial uses. The proposed commercial, multi-family residential, public park will be compatible with the existing surrounding uses. Conditions are attached to this Conditional Use Permit to assure that the uses will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

3. *The proposed conditional use will comply with each of the applicable provisions of this title.*


Criteria Satisfied. Conditions are attached to the Conditional Use Permit to assure that it complies with each applicable provision of Title 17 (Zoning).

Section 6. The City Council adopts the Findings hereinabove; adopts and approves Application No. PLDV2016-0001, amending the Stadium Area Master Plan **Exhibit 1**, adopts the Final Development Plan **Exhibit 2**, approves the Conditional Use Permit, and adopts the attached Conditions of Approval pertaining to the Final Development Plan and Conditional Use Permit **Exhibit 3**.

Section 7. This resolution is effective upon the effective date of the Ordinance approving the Development Agreement for the Residences at Five Creek project.


DULY AND REGULARLY ADOPTED on this 10th day of January, 2017.

CITY OF ROHNERT PARK



Jake Mackenzie, Mayor

ATTEST:



Caitlin Saldanha, Deputy City Clerk

Attachments: Exhibit 1, Exhibit 2 and Exhibit 3

AHANOTU: Aye BELFORTE: Aye CALLINAN: Aye STAFFORD: Aye MACKENZIE: Aye
AYES: (5) NOES: (0) ABSENT: (0) ABSTAIN: (0)

Stadium Area Master Plan “PD” Zoning District

February 6, 2008

Amended November 26, 2013 per Ord. No. 872 and Ord. No. 874

Amended January 10, 2017 per Reso. No. 2017-10

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1. Purpose

In accordance with Zoning Code Chapter 17.06, Article VII., the purpose of this “PD” Planned Development Zoning District is to set forth the standards for the development of this Final Development Plan (hereafter referred to as the Stadium Area Master Plan or SAMP) through the adoption of the development standards and the listing of the permitted uses.

a. Project Objectives.

- Create additional jobs within the City of Rohnert Park.
- Increase housing opportunities within the City of Rohnert Park.
- Promote implementation of General Plan goals, objectives and policies for jobs/housing balance, community growth, infrastructure improvements, and preservation of resources and environment.
- Promote implementation of Area Plan goals, objectives, and policies for infrastructure and public services.
- Provide direction for new development within the SAMP.
- Redevelopment of formerly developed industrial and institutional land.

b. Development Standards. The applicable development standards for the SAMP shall be consistent with the Zoning District which implements the General Plan land use designation for the property as shown in Table 1 below.

Table 1
General Plan Designations and Corresponding Zoning

General Plan Designation	Implementing Zoning District
Commercial – Regional	“C-R” Regional Commercial
Public/Institutional	“P-I” Public Institutional
Parks/Recreation	
High Density Residential	“R-H” High Density Residential

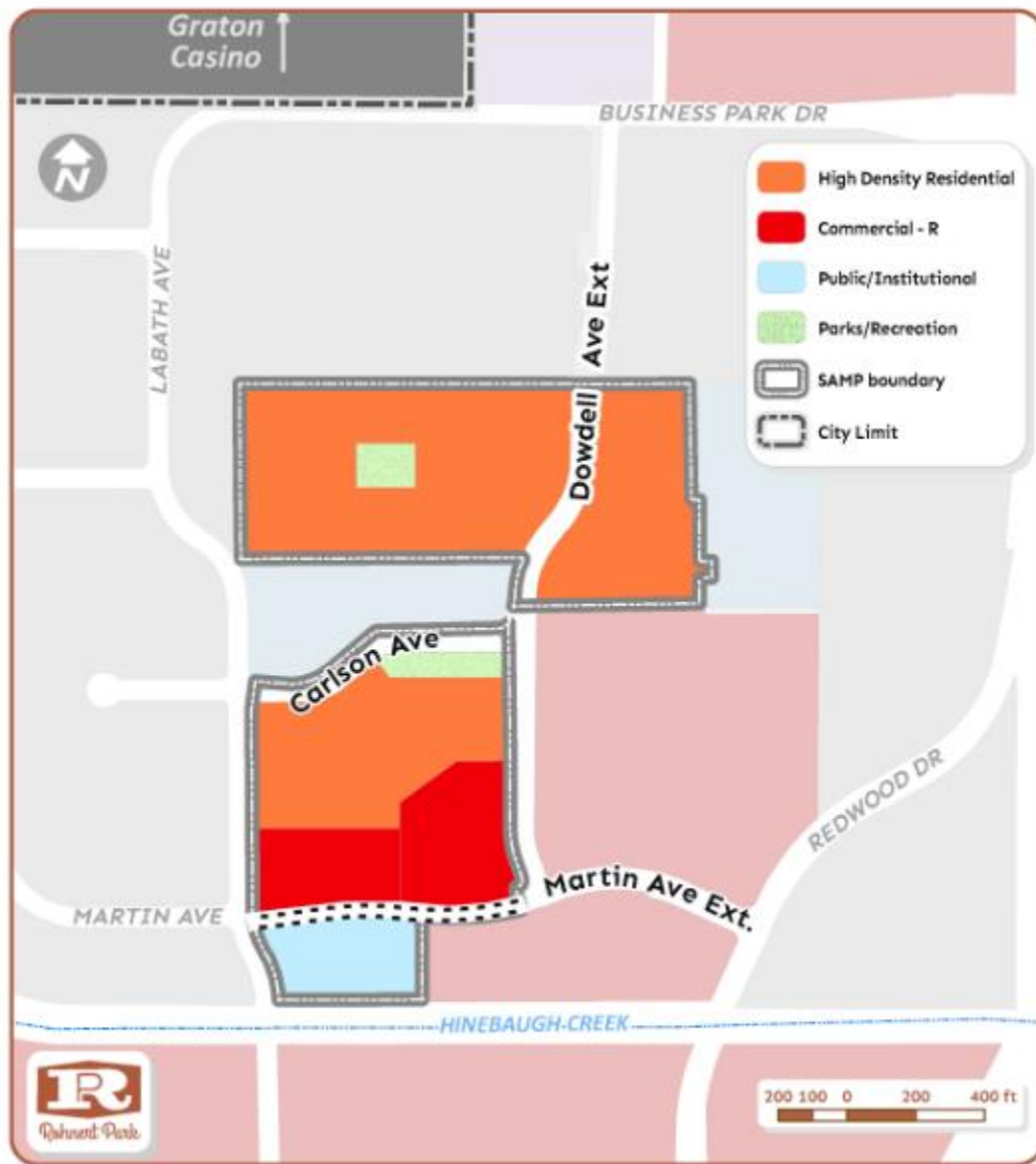
c. Permitted Uses. The applicable Zoning District that corresponds to the General Plan designation shall be used to determine permitted and conditionally permitted uses.

2. Administrative Procedures

3. Future development shall be subject to the procedures that are outlined in the Zoning Code Chapter 17.06, Article VII, for example tentative maps, conditional use permits and/or detailed design approvals. **Land Use and Zoning**

a. Land Use. Figure 1 illustrates the four General Plan designations that are within the boundaries of the SAMP. They include: High Density Residential (12-24 units/acres), Commercial-Regional, Public/Institutional, and Parks/Recreation.

Figure 1
SAMP General Plan Designations



STADIUM AREA MASTER PLAN

High Density Residential - 22.6 acres[±]

The General Plan High Density Residential designation accommodates residential development at densities ranging from 12.1 to 24.0 units per gross acre and accommodates a wide range of housing types, ranging from single family attached to multifamily and is intended for specific areas where higher densities may be appropriate.

Commercial-Regional - 6.6 acres[±]

The General Plan Commercial (Regional) designation is intended to provide sites for retail areas containing a wide variety of businesses, including: retail stores, eating and drinking establishments, commercial recreation, service stations, auto and repair services, financial, business and personal services, hotels, motels, and educational and social services. Residential uses may be conditionally permitted. The maximum FAR is 1.5 for hotel/motel projects and 0.4 for all other uses. Shopping centers typically provide department or big-box retailers which attract regional shoppers. Neighborhood – oriented commercial uses may be limited within this designation.

Public/Institutional - 3.0 acres[±]

The General Plan Public/Institutional designation provides for schools, government offices, transit sites, and other facilities that have a unique public character, as well as Sonoma State University. Religious facilities would be also permitted in this designation. The Public/Institutional site within the Master Plan is intended for construction of a City Public Safety facility.

Parks/Recreation - 0.65 acres[±]

The General Plan Parks/Recreation designation provides for active and passive parks and recreational areas, recreation complexes, community fields, public golf courses, stadiums, arboretums, and greenways. Ancillary facilities such as concession stands, clubhouses, and equipment rental are also allowed. The City's General Plan land use diagram is not parcel specific. Uses on sites which are less than one acre in size are not depicted on the diagram. Future residential projects will be required to include private or public recreational land consistent with City policies.

- b. Zoning.** The Zoning District for the SAMP site is “P-D” Planned Development; however, the Zoning District standards which implement the corresponding General Plan land use designation, as indicated in Table 1, shall apply. For example:

The “R-H” (High Density Residential) zone shall apply to areas which are designated by the General Plan as High Density Residential.

The “C-R” (Regional Commercial) zone shall apply to areas which are designated by the General Plan as Commercial –Regional.

The “P-I” (Public Institutional) zone shall apply to areas which are designated by the General Plan as Parks/Recreation and areas designated Public/Institutional.

4. Relationship of Land Uses to Surrounding

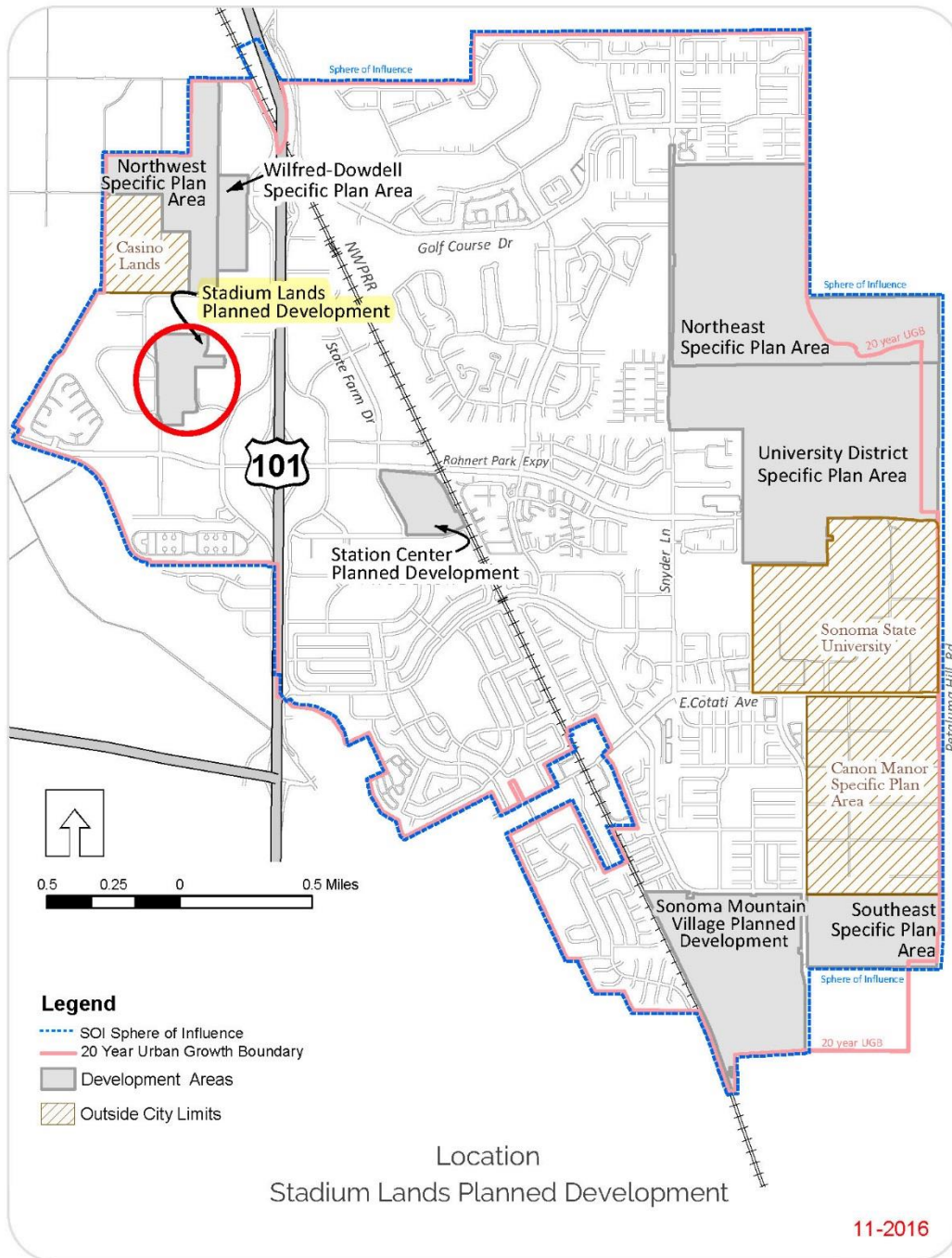
The 32.8 acre SAMP lies in the northwest corner of the City of Rohnert Park¹. The site is bounded to the north by several parcels of land which front onto Business Park Drive; to the east by light industrial and office uses along Redwood Drive; Costco and Ashley Furniture; to the south by Hinebaugh Creek; and to the west by Labath Avenue. The existing land uses include industrial and public/institutional.

The boundary of the SAMP is somewhat irregular since in some cases it follows public rights-of-way e.g., Labath, Carlson and Dowdell Avenues and in other cases it follows parcel lines. The land to the north of the future extension of Carlson Avenue comprises a contiguous (i.e. adjoining) parcel, as does the land south of Carlson; the total property encompasses approximately 32.8 acres of land. The SAMP consists of relatively flat land which is mostly undeveloped.

As illustrated in Figure 2, the Northwest Specific Plan and the Wilfred Dowdell Specific Plan lie to the north of Business Park Drive and the proposed SAMP.

¹ The area’s designation as the “Stadium Area” refers to the stadium located within the planning area which was the home of the now defunct Sonoma County Crushers baseball team. The developer has an option to purchase the property from the City of Rohnert Park.

Figure 2
Location Map



In arriving at a preferred development vision for the SAMP consideration was given to several factors including location, access, parcel size and configuration, existing land uses in the area, and market demands.

With regards to location and access, the SAMP is positioned adjacent to the Costco operation which attracts customers from many of the nearby communities the majority of whom arrive to the area via Highway 101. Because of the strong drawing power of Costco, it is anticipated that additional retail/commercial activity could be supported in the SAMP. Other existing land uses in the area, such as the Press Democrat newspaper operation located to the northeast of the SAMP and the KRCB Channel 22 public broadcast television station located north of Carlson Blvd., are self-contained business destinations and therefore do not generate the type of commercial traffic and attraction which Costco does. Other activities to the north of Costco include the City of Rohnert Park's Animal Shelter and the City's wastewater pumping station.

Based on recent discussions and studies concerning the potentials for development of other land uses in the SAMP, which were conducted as part of the planning efforts in preparing this plan, it is anticipated that some demand exists for new hotel rooms, commercial development, and residential (rental) housing in Sonoma County, and elsewhere in Northern California. Based on this analysis, new hotels, commercial space and dwelling units should be successful in the SAMP.

Based on the foregoing considerations and following the guidance provided by the General Plan, the proposed development to be accommodated in the SAMP may be characterized as having four components: Regional Commercial, High Density Residential, Public/Institutional, and Parks (see Figure 1).

The commercial uses are to be developed in the southern portion of the Zoning District. This site has the potential for generating additional retail based on existing commercial uses in the area including the Costco facility on the corner of Martin Avenue and Redwood Drive and the other commercial uses which are next to U.S. Highway 101, along Redwood Dr. This commercial area flanks the future extension of Dowdell Avenue into this area and is accessible via Martin Avenue, a major arterial which, via Redwood Dr. and Rohnert Park Expressway links the SAMP with the freeway. Given the size of the parcel (about 15.7 acres with 6.6 acres designated for commercial uses), it is anticipated that this site could accommodate a hotel and/or a moderate sized retail development.

The northwestern part of the SAMP property is envisioned to develop with high density multifamily or single family (attached) residential units to the east and west sides of the extension of Dowdell Avenue

The principal land uses to be developed within the SAMP are listed in Table 2.

Table 2
SAMP Land Use & Development Program

Land Use	Gross Acreage	Housing Units	Commercial
High Density Residential	22.55	up to 473	none
Commercial – Regional	6.6	none	up to 300,000 sf
Public/Institutional	3.0	none	None
Park	0.65	none	None
Totals	32.8	up to 473	up to 300,000

5. Applicable Codes and Standards

All future entitlements will be required to comply with the Codes and Standards that are in effect at the time the application is deemed complete unless otherwise superseded by the SAMP or a negotiated Development Agreement. Examples include but shall not be limited to:

a. Rohnert Park Municipal Codes

- Green Building Ordinance
- Inclusionary Housing Ordinance
- Public Art Ordinance
- Park Land Dedication/Fee

b. Rohnert Park Standards

- Affordable Housing Linkage Fee
- Public Facilities Finance Plan Fees
- Adopted Engineering Standards

c. Project Design. Future residential and/or commercial projects shall conform to the City of Rohnert Park General Plan Community Design Element, adopted Design Guidelines, and City of Rohnert Park Engineering Standards. During the review process, particular attention shall be given to the following:

- The interface between the industrial, residential, commercial and public/institutional land uses.
- The arrangement between buildings and spaces such that provisions are made to ensure complementary transition between uses.
- The arrangement between structures and spaces shall result in a cohesive design among similar land uses.
- Building materials, colors, linkage to sidewalks, parking placement, landscape design, and plant materials to complement existing and proposed uses.

- Conditions of the General Construction Activity NPDES permit from the Regional Water Quality Control Board.
 - Proper site design and/or noise attenuating devices to reduce the indoor and outdoor noise levels for sensitive receptors.
 - Special consideration should be given to memorialize the “Stadium.”
- d. **Subareas.** The SAMP includes several distinct subareas (see Figure 3), including: Fiori Estates (apartments); The Reserve (apartments); Residences at Five Creek (mixed use); and the Public Safety Facility. In order to provide guidance for future development, a detailed development plan for the Residences at Five Creek project has been included as Appendix A.

Figure 3 – SAMP Subareas

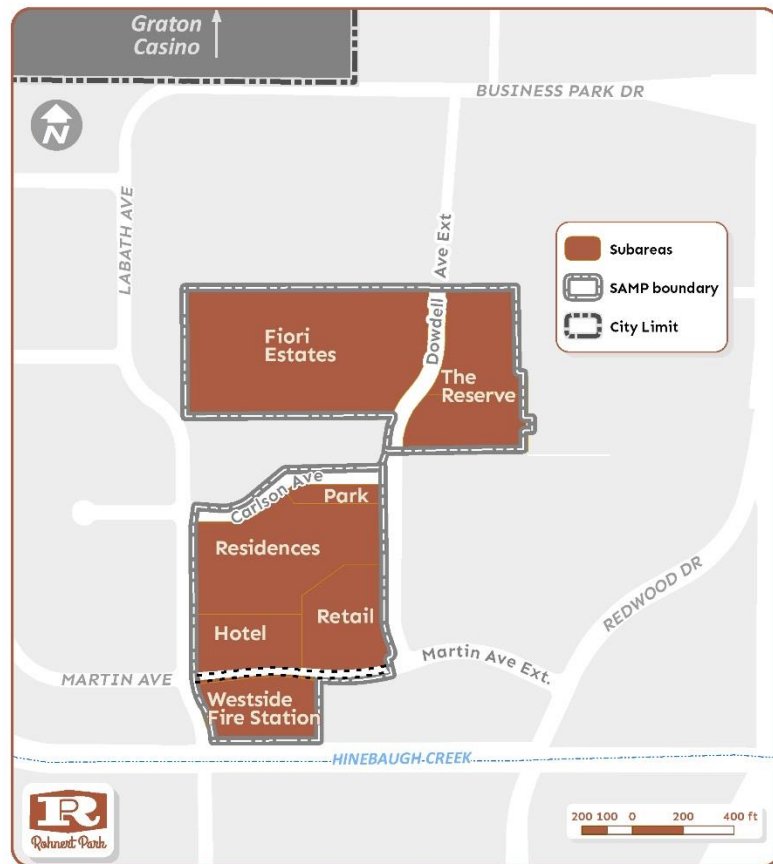


Figure 3. Subareas

STADIUM AREA MASTER PLAN

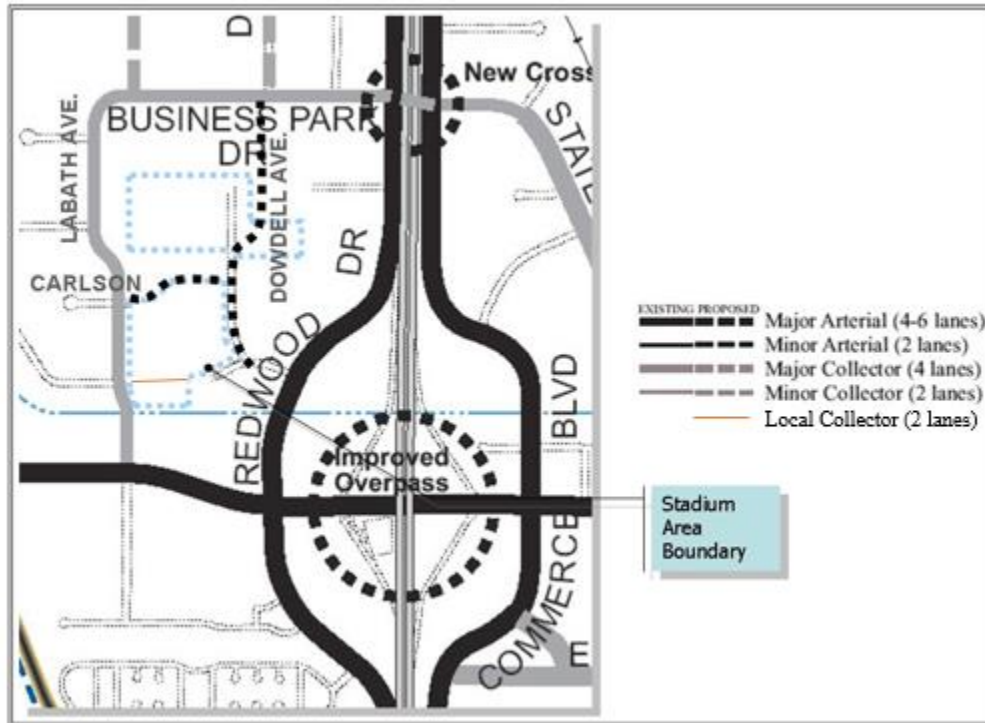
- e. **Mitigation and Monitoring Reporting Program (Stadium Area Master Plan EIR).** CEQA Guidelines Section 15097 requires the incorporation of the Mitigation and Monitoring Reporting Program (see EIR certification resolution).

6. Circulation Plan

- a. **Existing Circulation.** The existing and future circulation for the site, in accordance with the adopted General Plan, is illustrated in Figure 3. It shows the connection of Martin Avenue between Labath and Dowdell Avenues and no connection on Dowdell Avenue to Business Park Drive.
- b. **Proposed Circulation:** The SAMP includes a conceptual circulation plan, Figure 4, but does not include specifics in terms of internal circulation or how the various retail and residential uses would interface with the adjacent streets. Further review will be required upon application for specific development and conditions of approval will be applied.

The conceptual circulation scheme indicates that Dowdell Avenue will be extended between Martin Avenue and Business Park Drive, and that Carlson Avenue will be extended from Labath Avenue to the new extension of Dowdell Avenue. Martin Avenue will serve as a local connector between Labath and Dowdell Avenues to serve the new public buildings that will be accessed via Martin and to provide additional connectivity to vehicles, bicycles and pedestrians. Martin is envisioned as a slow-speed street that would allow for on-street parking. The final circulation plan will be reviewed upon application for specific development.

Figure 4
Proposed Circulation



c. Proposed Streets and Improvements.

- Dowdell Avenue (north extension) to Business Park Drive. Dedicate, improve and/or reconstruct the full width of Dowdell Avenue from Martin Avenue to Business Park Drive as a minor arterial. The half width (32 foot right-of-way) street improvements shall consist of a 7 foot center turn lane, a 12 foot travel lane, a 5 foot Class II bike lane and a 6 foot sidewalk located behind an 8 foot planter strip.
- Carlson Avenue (east extension) to Dowdell Avenue. Dedicate, improve and/or reconstruct the full width of Carlson Avenue from Labath Avenue to Dowdell Avenue as a minor arterial. The half width (25 foot right-of-way) street improvements shall consist of a 12 foot travel lane, a 5 foot Class II bike lane and a 6 foot sidewalk located behind an 8 foot planter strip.
- Martin Avenue from Dowdell Avenue to Labath Avenue. Improve Martin Avenue as a local connector between the two major roadways. This could be provided as a public right-of-way or a private street with a public easement. On-street parking may be provided and pedestrian access through the site must be accommodated.

d. Proposed Intersection Improvements and Modifications.

- Redwood Drive at Wilfred Avenue. Eastbound approach to Wilfred Avenue intersection will require reconfiguration to include a left turn lane, two through lanes and a shared through right turn lane. The southbound Redwood Drive approach will require reconfiguration to provide dual left turn lanes and a shared through right turn lane. Projects within SAMP shall pay impact fees or contribute a proportional share of the necessary improvements.
- Commerce Blvd at State Farm Drive. Signalization is required. Projects within SAMP shall pay impact fees or contribute a proportional share of the necessary improvements.
- Redwood Drive at Business Park Drive. Signalization is required. Projects within SAMP shall pay impact fees or contribute a proportional share of the necessary improvements.
- Redwood Drive at Rohnert Park Expressway. Modify the northbound approach of Redwood Drive to provide a left turn lane, two through lanes and a right turn lane. Right turn overlap signal phasing should be added to the northbound, southbound, and westbound approaches. These lane modifications will also facilitate the installation of a bicycle lane at the intersection. Projects within SAMP shall pay impact fees or contribute a proportional share of the necessary improvements.
- Dowdell Avenue at Business Park Drive. Signalization or single lane traffic roundabout is required and shall be included with future project.
- Rohnert Park Expressway at Labath Avenue. Modify the NB approach to include a left turn lane, single through lane, and dual right turn lanes. Modify the SB approach to include a left turn lane and shared left turn-thru-right-turn lane. Modify signal phasing to split-phase north and south. Projects within SAMP shall pay impact fees or contribute a proportional share of the necessary improvements.
- Rohnert Park Expressway at US 101 SB ramp. Modify the EB approach to provide two thru lanes and a dedicated right turn lane. Install lane assignment signs to notify drivers on SB Redwood Drive prior to Rohnert Park Expressway intersection. Projects within SAMP shall pay impact fees or contribute a proportional share of the necessary improvements.
- Rohnert Park Expressway off ramp at US 101 NB ramp. Re-strip NB off ramp approach with a left turn lane, shared left turn-thru lane, and right turn lane. Projects within SAMP shall pay impact fees or contribute a proportional share of the necessary improvements.

e. Proposed On-Site Bicycle and Pedestrian Facilities. All streets within the SAMP shall include sidewalks on both sides. On-site pedestrian sidewalks and/or paths shall connect all activity areas. Bike racks shall be provided at all retail uses and within residential areas.

- A class II bike lane shall be constructed upon reconstruction of Labath Avenue from Hinebaugh Creek to Carlson Avenue.
- A class II bike lane shall be included as part of the construction of the Dowdell Avenue extension

- Martin Avenue shall include sidewalks to allow for pedestrian access and through traffic.

7. Estimate and Timing of Other Needed Infrastructure

The timing of all circulation or other infrastructure improvements shall be determined upon future project conditioning.

- a. Public Safety Facility.** The project proponent is responsible for dedicating to the City of Rohnert Park a 3 acre site for future development of a Northwest Public Safety Facility. Projects within SAMP shall pay impact fees or contribute a proportional share for improvements in order to meet the goal of a 4 minute response time. Martin Avenue shall be extended to provide access to both Dowdell Avenue and Labath Avenue.
- b. Parks and Recreation.** The project proponent is responsible for parkland dedication and/or improvement as required upon submittal of a future subdivision map for residential development.
- c. Utilities.** The project proponent is responsible for the installation of all required utilities upon future development unless the City accepts the payment of impact fees.

8. Parking Requirements

Development plans for the parcels comprising SAMP shall provide a minimum parking supply that is consistent with the parking requirements contained in the Zoning Code at the time of project review. An alternative parking plan may be considered upon submittal and review of a parking analysis that is conducted by a qualified individual or firm.

Appendix A

Residences at Five Creek Development Plan



Applicant: MW Investment Group
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Irvine, CA 92614

In Consultation With:

356 Advisors
Civil Design Consultants, Inc. (Civil Engineering)
Omni-Means (Landscape Architecture)

Residences at Five Creek Final Development Plan

Adopted January 10, 2017, Resolution No. 2017-010

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Summary

The Residences at Five Creek (herein after referred to as “Project”) is located within the Stadium Area Master Plan (SAMP) – a 32.8-acre master-planned development located in the northwest corner of the City of Rohnert Park. As indicated in the SAMP document, the SAMP is bounded to the north by several parcels of land, which front onto Business Park Drive; to the east by light industrial and office uses along Redwood Drive; to the south by Hinebaugh Creek; and to the West by Labath Avenue. The SAMP regulates development within this area and allows for up to 473 high density residential dwelling units and up to 300,000 square feet of commercial development.

The proposed Project is located within the southern portion of the SAMP and consists of 12.62 gross acres. The Project site is bounded to the north by Carlson Avenue right-of-way; to the east by Dowdell Avenue; to the south by the future extension of Martin Avenue; and to the west by Labath Avenue. The Project includes a 0.65-acre park facility at the corner of Dowdell Avenue and Carlson Avenue. High density residential uses are located on 6.03 net acres in the northern portion of the site. Regional commercial uses will be located in the southern portion of the site, with up to 34,300 square feet of retail located at the corner of Martin and Dowdell Avenues and a four-story hotel with up to 132 keys (e.g. hotel rooms) at the corner of Labath and future Martin Avenues. The proposed intensity/density of the Project is depicted in *Table 1, Project Intensity/Density* and the layout can be viewed in *Exhibit 1, Final Development Plan*.

Table 1, Project Intensity/Density

Use	Gross Acres	Units	Building Area (sq. ft.)
High Density Residential (H-R)	6.07	135	–
Commercial-Regional (C-R)	5.9	–	34,300 (retail) 132 keys (hotel)
Park	0.65	–	–
TOTAL	12.62	135	34,300 (retail) 132 keys (hotel)

Uses within the High Density Residential district include up to 135 multi-family dwelling units. The proposed multi-family units include stacked flats in three-story buildings. The buildings include individual one-car garages and surface parking spaces (some of which may be covered by a carport structure). These units have been plotted to provide direct access from the residences to either common open space facilities or the public street. These units also feature common entry areas, fostering interaction among the residents. Conceptual renderings and conceptual elevations of the residential dwelling units are depicted on *Exhibits 2 through 6*.

Uses within the Commercial-Regional district include up to 34,300 square feet of retail uses on 3.34 acres including, but not limited to restaurants, grocery stores, clothing stores, neighborhood services (i.e. dry cleaners), retail anchors, offices, and other retail uses generally found within a shopping center. The design anticipates a grocery store as the main anchor, as the large building fronts onto parking lot to accommodate shopping carts. The grocery

store design is depicted in *Exhibit 7, Grocery Rendering*. To design a cohesive and unified shopping center, secondary tenants also have the primary entry fronting onto the parking lot. It should be noted that as tenant desires vary, entries may be relocated onto street. The retail area also features a plaza area, including a trellis structure, outdoor seating, and a water feature/artwork. This plaza not only provides shade for visitors to the retail area, but also provides a welcoming entry from the adjacent proposed High Density Residential uses to the north. The retail plaza is conceptually depicted in *Exhibit 8, Retail Plaza Rendering*.

Another use within the Commercial Regional district is a hotel with up to 132 keys (or rooms) on 2.56 acres. The building area for the four-story hotel is anticipated to be 75,721 square feet. The hotel is located in the center of the property and is surrounding by surface parking, while fronting onto the future extension of Martin Avenue. The hotel will include a circular driveway, partially covered by a porte-cochere to provide protection for guests checking in and a strong entry statement. The conceptual design for the hotel is depicted *Exhibits 9 through 11*.

The Project also includes a 0.65-acre neighborhood park located at the corner of Carlson Avenue and Dowdell Avenue. Homes within the High Density Residential district will front directly onto the neighborhood park, improving the safety of the park. Amenities in the park include, but are not limited to, passive lawn area, bocce ball court, a 400-square foot picnic pavilion, semi-exclusive skate features, and an entry plaza.



Figure 1, Final Development Plan

Residential Summary	
Gross Site Area	6.07 AC
Dwelling Units	135
Density	22.2 DU/AC
Unit Distribution	1 Bdrm: 67 units 2 Bdrm: 56 units 3 Bdrm: 12 units
Residential Amenity	4,000 SF Clubhouse
Total Building Footprint	73,600 SF
Lot Coverage	27.8%
Total Common Open Space	66,211 SF
On-Grade Private Open Space	2,025 SF
Above-Grade Private Open Space	6,480 SF
Parking Required	243 Spaces
Parking Provided	Garage: 109 spaces Covered: 28 spaces Uncovered: 106 spaces TOTAL: 243 SPACES
Commercial Summary	
Gross Site Area	Retail: 3.34 AC Hotel: 2.56 AC TOTAL: 5.90 AC
Total Building Footprint	Retail: 34,300 SF Hotel: 75,721 SF TOTAL: 110,021 SF
F.A.R.	Retail: 0.24 Hotel: 0.68 TOTAL: 0.43
Parking Required	Retail: 106 spaces (25% Reduction) Hotel: 102 spaces (25% Reduction) TOTAL: 208 spaces
Parking Provided	Retail: 125 spaces Hotel: 139 spaces TOTAL: 264 spaces



Figure 2, Conceptual Residential Rendering



- Materials**
- 1. Stucco Body 1
 - 2. Stucco Body 2
 - 3. Fiber Cement Siding
 - 4. Fiber Cement Panel
 - 5. Metal Railing
 - 6. Metal Awning
 - 7. Light Fixture
 - 8. Metal Sectional Garage Door

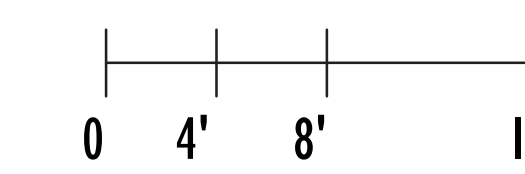


Figure 3, Conceptual Residential Front Elevation



Figure 4, Conceptual Residential Side Elevation, Left



Figure 5, Conceptual Residential Side Elevation, Right



- Materials**
1. Stucco Body 1
 2. Stucco Body 2
 3. Fiber Cement Siding
 4. Fiber Cement Panel
 5. Metal Railing
 6. Metal Awning
 7. Light Fixture
 8. Metal Sectional Garage Door

Figure 6, Conceptual Residential Rear Elevation



Figure 7, Grocery Rendering



Exhibit 8, Retail Plaza Rendering



Figure 9, Hotel Rendering 1



Exhibit 10, Hotel Rendering 2



Figure 11, Hotel Rendering 3

Zoning

The Project site is zoned as “Planned Development” (PD) as indicated in *Exhibit 12, Rohnert Park Zoning Map*. The Project consists of three implementing zones: High Density Residential (H-R), Regional Commercial (C-R), and Public Institutional (PI). The location of these implementing districts are depicted in *Table 2 and Figure 13, Project Zoning Districts*.

All developments within the Project site shall comply with the uses, development standards, and design guidelines applicable to developments within the implementing zoning designations, unless specifically indicated within this Final Development Plan booklet. The project will also comply with all applicable California Building Code (CBC) regulations, including all CALGreen requirements (e.g. bicycle and EV parking). Procedures and future development applications shall be processed as described in the City of Rohnert Park Zoning Code and/or City of Rohnert Park established procedures.

Table 2, Project Intensity/Density

Implementing Zone	Gross Acres	Units	Building Area (sq. ft.)
High Density Residential (H-R)	6.07	135	—
Commercial-Regional (C-R)	5.9	—	34,300 (retail) 132 keys (hotel)
Public Institutional (PI)	0.65	—	—
TOTAL	12.62	135	34,300 (retail) 132 keys (hotel)

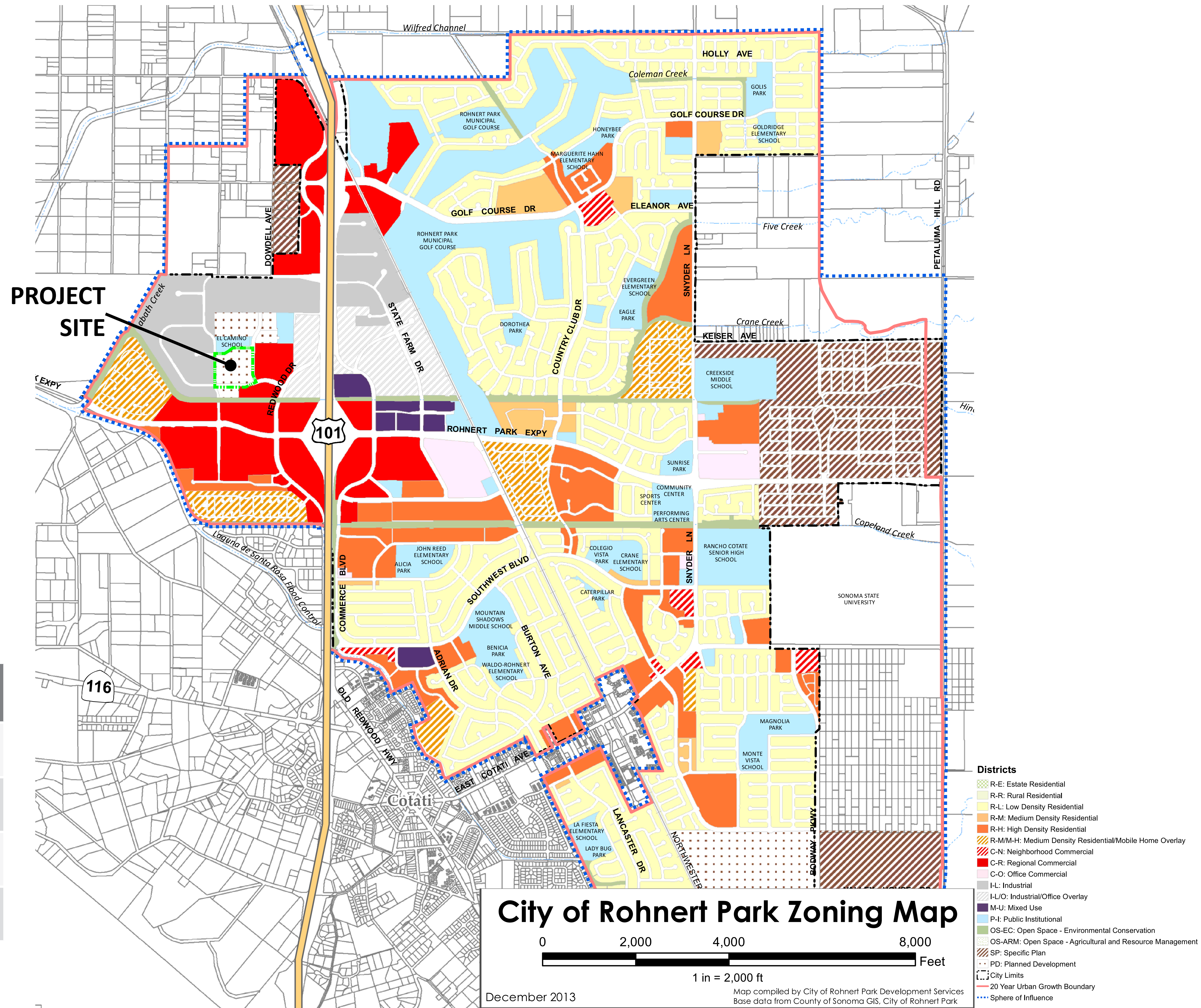
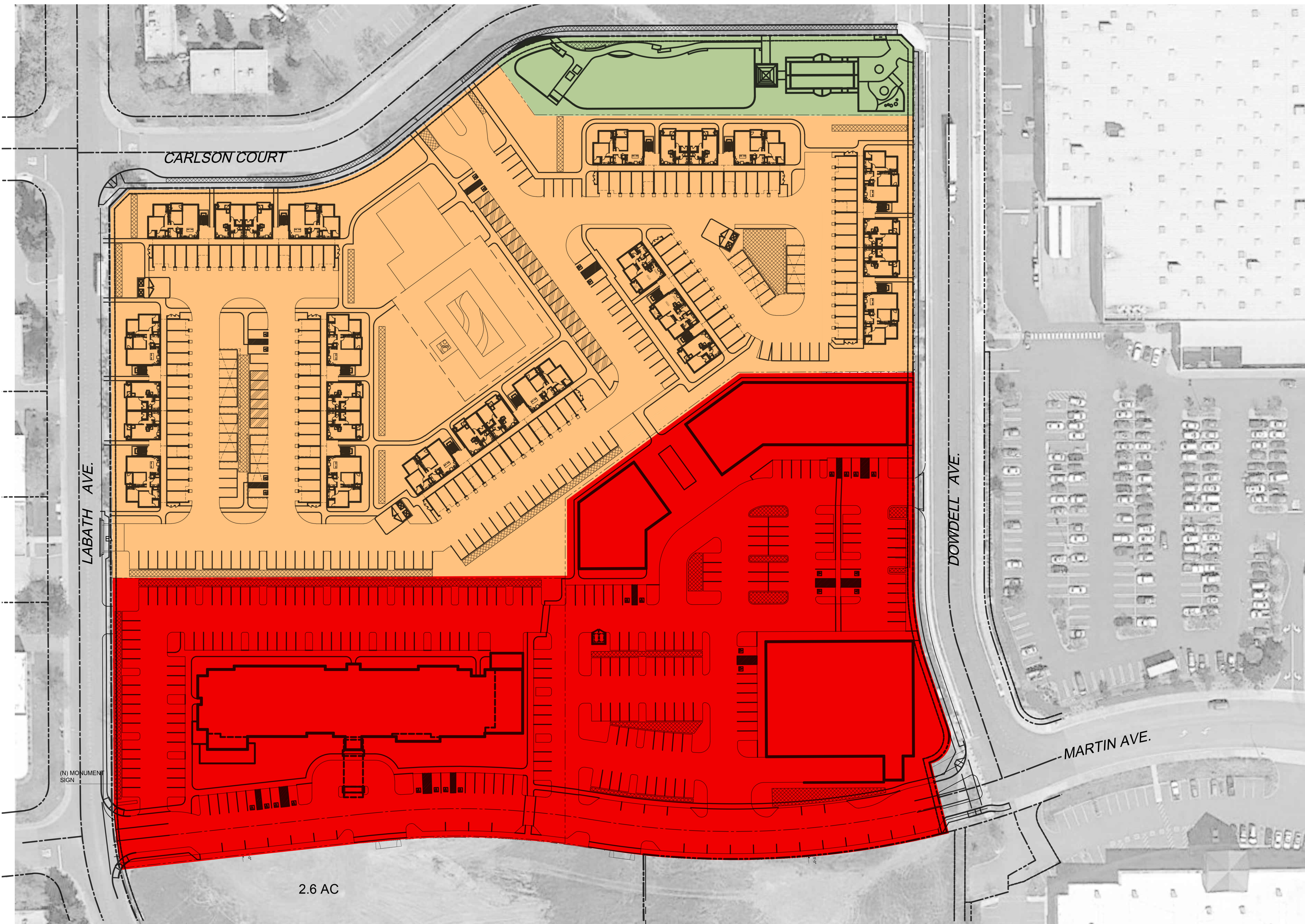


Figure 12, Rohnert Park Zoning Map



- Districts**
- R-H: High Density Residential
 - C-R: Regional Commercial
 - P-I: Public Institutional

Figure 13, Project Zoning Districts

Zoning Code Variations

This section indicates deviations from the uses and development standards identified within the City of Rohnert Park Zoning Code, which is requested as part of the Planned Development.

Use Deviations

All uses within the High-Density Residential (H-R) district shall comply with the uses identified in the H-R land use category in Section 17.06.030 of the Rohnert Park Zoning Code, except:

- Community Centers shall be permitted, and
- Large Homeless Shelters (7 or more persons) shall be prohibited.

All uses within the Regional Commercial (C-R) district shall comply with the uses identified in the C-R land use category in Section 17.06.060 of the Rohnert Park Zoning Code, except:

- Animal Hospital/Veterinary Clinics shall be permitted,
- Automobile Service Stations shall be prohibited,
- Bed and Breakfast Inns shall be conditionally permitted,
- Drive-Through Windows (for all uses, including pharmacies) shall be permitted,
- Firearm Dealers and Firearm Ammunition Dealers shall be prohibited,
- Funeral Parlors/Mortuaries shall be prohibited,
- Large Homeless Shelters (7 or more persons) shall be prohibited,
- Laundromats shall be permitted,
- Large Recover Facilities (7 or more persons) shall be prohibited,
- Research and Development (Office Type Uses) shall be permitted,

- Vehicular Dealerships/Rentals (including boats, RVs, and farm or construction equipment) shall be prohibited, and
- Vehicular Repair (including boats) shall be prohibited.

All uses within the Public Institutional (PI) district shall comply with the uses identified in the PI land use category in Section 17.06.160 of the Rohnert Park Zoning Code, except:

- Cemetery, Crematory, Columbarium shall be prohibited,
- Golf Course shall be prohibited,
- Homeless Shelter shall be prohibited,
- Hospital shall be prohibited,
- Medical Clinic shall be prohibited,
- Parks shall be permitted, and
- Schools (all) shall be prohibited.

Development Standard Deviations

All developments shall comply with the development standards identified in the City of Rohnert Zoning Code, except:

- The minimum front yard setback identified in Section 17.10.020 for the R-H district shall be 15 feet,
- The minimum front yard and corner side yard setback identified in Section 17.10.020 for the C-R district shall be 5 feet,
- Footnote No. 14 of the Development Standard table in Section 17.10.020 shall be updated to include private open space of a minimum area of seventy five (75) square feet when on ground level and/or sixty (60) square feet if equal or greater than six feet above ground,

- Section 17.10.040.B. shall be updated to allow open, unenclosed, uncovered balconies, landings, platforms, patios, decks, porches, stairways, terraces, and vehicular access drives and parking and loaded areas, no part of which is more than four feet above the grade of the ground, may extend into a required front yard by five feet or into a required rear or side yard to within three feet of the property line or the required space between the buildings, and
- Uses within the Regional Commercial (C-R) District shall be granted a twenty-five (25) percent reduction of the required parking for non-residential uses, as indicated in Section 17.16.040.A of the City of Rohnert Zoning Code.

Design Guideline Variations

This section indicates deviations from the *City of Rohnert Park Design Guidelines for Commercial, Mixed-Use and Multi-Family Buildings (Design Guidelines)*, adopted by City Council Resolution 2012-95, which is requested as part of the Planned Development. As shown in the previous figures, the Project is designed as a “Modern” architectural style with varied massing and high-quality articulation and materials. As an interpretation of the Modern architectural style identified in the Design Guideline document, the proposed design does not meet all encouraged elements of said design guidelines. Below are the variations from the *Design Guidelines*.

Additional Project Design Guidelines

Additional Design Guidelines for Service/Trash Enclosures

Integration of the service areas, loading docks, and trash enclosures into the Project’s design is imperative so these areas do not detract from the overall aesthetic. The Project should comply with the applicable design guidelines indicated on Page 15 of the City’s *Design Guidelines*. To further assist with the screening of the Project’s loading docks, service areas, and trash enclosures, trees may be used to help screen these elements from view of surrounding properties.

Additional Design Guidelines for Building Massing

The streetscape, building placement, massing and facade details will be essential to creating an aesthetically-interesting place for pedestrian activity.

- Monolithic buildings of singular form, height, or material should be avoided.

- Verticals roof plane breaks, changes in building height or other accent roof forms, such as projections are encouraged.
- Long, unarticulated blank walls without massing breaks or material changes are highly discouraged.

Additional Design Guidelines for Facade Treatment

Buildings within the Project should have articulation along pedestrian routes to generate scaling and visual interest.

- Architectural design should minimize blank walls, especially when situated along streets or walkways.
- The use of stone, brick, wood, and other natural elements are encouraged on the facade.
- Large expanses of reflective, opaque, or highly-tinted glass are discouraged.
- Ceiling-to-floor storefront windows for retail buildings are encouraged to help create a dynamic and interesting streetscene.
- All facades of a building are encouraged to have windows, doors and/or other architectural elements.
- Projections, overhangs, recessed, banding and architectural details should be used to provide shadow, articulation and scale to building elevations.

- Exterior materials, windows and details should be consistent with the scale, proportion and architectural style of the building.
- Commercial building and tenant entries should have enhanced treatments and front onto the main pedestrian frontage, where possible.

Section 2, Site Design Guideline Variations

Building Placement and Orientation, Guideline No. 2: All buildings should be sited to contribute to an active street wall and a vibrant pedestrian environment.

The retail and residential buildings will be sited as close as possible, excluding the curves in the streets. However, the hotel will be located in the center of the property, surrounded by parking and landscape. Additionally, one of the tenants anticipated for the retail area is a grocery store. The entry for the grocery store will be towards the parking lot and no entries will be located on the street.

Building Placement and Orientation, Guideline No. 6: On retail developments, pad buildings should be strategically placed to help improve the pedestrian qualities of parking dominated shopping centers.

Pad buildings will be strategically placed; however, the shorter facade will be oriented towards the street to allow for the grocery tenant have the entrances and shopping cart storage facing the parking lot and not the street.

Section 3, Building Design Guideline Variations

Landscaping, Guideline No. 2: All projects must be well landscaped.

The Project will be well landscaped. However, not all trees will have a height of 10 feet when planted. Some species will be smaller. Additionally, since the Project includes multiple components, more than one type of flowering accent tree will be used.

Landscaping, Guideline No. 3: Landscaping should be primarily drought tolerant.

The Project will be primarily drought tolerant. However, due to availability of recycled water and that the area experiences without a rain event, use of rain gardens would not be appropriate.

Parking Lot Landscaping, Guideline No. 2: Surface parking should include trees in parking islands.

The Project will include trees within parking islands to meet the required one tree per four spaces. However, planters accommodating trees will generally be along the long edge of the parking space, rather than between facing parking spaces.

Mechanical and Roof-Mounted Equipment, Guideline No. 2: All roof mounted mechanical equipment must be screened with an enclosure.

The Project will screen roof-mounted equipment from public view by using parapet walls.

Building Massing, Guideline No. 2: Massing elements such as arcades and towers contribute to a rich building composition

The proposed Project is an interpretation of the Modern style identified in the City Design Guideline document. The proposed design consists of varied massing and architectural canopies to provide shade over pedestrian promenades. Arcades and tower are not appropriate for the proposed architectural style.

Building Articulation, Guideline No. 2: Commercial one story buildings should be highly articulated and have a roofscape treatment.

The proposed retail buildings will be highly articulated and consist of varied roofscape treatment. However, the retail portion consists of three buildings. Each building will have consistent articulation between its storefronts. However, storefronts of one building will be architecturally similar (e.g. architectural canopy), not consistent.

Multi-Family Building Massing, Page 28: Ground floor units should have entries accessed from and raised from the street.

The proposed multifamily buildings include recessed common entries in-between the buildings. The entry door is concealed from street view, but is not raised from the adjacent sidewalk.

Roofs, Guideline No. 1: All roof forms should complement the massing and articulation of the building.

The proposed roof forms for all buildings will complement the modern massing and articulation. However, all buildings will include varied flat roof forms with variable parapet heights. Gable, hip and shed roof forms are not proposed.

Roofs, Guideline No. 3: Flat roofs should vary in height and use caps, shaped parapets, barrel tiles or a cornice treatment to create an interesting skyline.

As discussed above, the Project consists of varied flat roof forms with variable parapet heights. Parapets will have a minimum height of two feet, four inches. Caps, shaped parapets, barrel tiles and cornices are not consistent with the proposed Modern architectural style.

Roofs, Guideline No. 5: Roof drainage elements should have consistent materials and be integrated into the overall building façade composition.

Downspouts are proposed to be exterior mounted for all buildings within the Project. Downspouts shall be painted and/or treated to blend into the wall it is mounted on.

Windows, Guideline No. 2: All window frames should be recessed from the building facade.

Window frames for the proposed Modern architectural style will not be recessed from the face of the exterior wall.

Windows, Guideline No. 4: Window materials and type should maintain a consistent design vocabulary and quality throughout the building.

All window materials and type for each building within the Project will maintain a consistent design vocabulary and quality. However, on multi-story buildings, the windows on the ground and upper stories will be the same size, as the same residential unit or hotel room will be on all floors.

Section 5, Storefront Guideline Variations

Windows, Guideline No. 6: Window frames should be colored to complement the building façade color scheme.

Clear anodized windows cannot generally be used to meet the required Title 24 requirements. Vinyl windows in a bronze or espresso color will be used to meet the Title 24 requirements and complement the building's color scheme.

Building Entries, Guideline No. 5: Door glazing should be provided to create an inviting entry.

To provide security, residential doors will not include any glazing. Residential entry doors are concealed from street view.

Garage Doors, Guideline No. 3: The exterior design of garage doors should be treated to reduce its visual impact.

Residential single-car garage doors will not consist of any surface paneling to be consistent with the Modern architectural style.

Building Color, Guideline No. 3: Accent colors should complement the main building color. Accent colors may be used for trim or to emphasize architectural details.

The proposed colors for the Project consists of a light earth-tone base color with darker accent colors on details such as window trim.

Building Color, Guideline No. 3: Storefronts should be designed with a clearly defined module.

Each building will have a defined module that has a consistent pattern. However, each building's module may vary as long as they appear similar to the remainder of the retail development.

Common Storefront Elements, Entry, Guideline No. 1: Storefronts should have a distinctive entry.

Each storefront will have a distinctive, yet compatible entry. Entries will generally not include differentiated paving materials, however, they will include other features such as architectural canopies and other elements.

Common Storefront Elements, Entry, Guideline No. 2: Doors should contribute to creating an inviting entry.

All retail doors will contribute to creating an inviting entry. Not all doors will include transom windows above the door. Some doors will include a large vertical pane of clear glass that are taller than eight feet in height, which is consistent with the Modern architectural style.

Common Storefront Elements, Display Windows, Guideline No. 2: Display windows should provide transparency into the business.

Display windows will be provided for all retail tenants, with the exception of the grocery tenant. To provide shade protection for shoppers, architectural canopies will be used.

Common Storefront Elements, Bulkhead, Guideline No. 1: All storefronts should include bulkheads; and Guideline No. 2: Bulkheads should be finished with high quality durable materials that are compatible with the materials used on the building façade.

The Project's Modern architectural design does not include the use of bulkheads. The storefront design includes a single pane of glass that extends from the pad of the retail space.

Common Storefront Elements, Awnings, Guideline No. 1: Awnings should be used to articulate the building and give hierarchy to the storefront; Guideline No. 2: Awnings should be placed to contribute to the pedestrian scale; Guideline No. 3: Correlate the awning placement to the storefront opening; Guideline No. 4: Awning shapes should relate to the shape of the opening and the building's architecture; Guideline No. 5: Awnings should use high quality materials; and Guideline No. 6: Awnings should accent the building's façade.

The Project's Modern architectural design does not include the use of awnings. The design includes the use of different architectural canopies on each building. Some canopies wrap around the building, while others are only located over the front entry. Generally, the canopies are located above the transom windows to provide scale to the building.

Public Circulation

The project is bounded by Labath Avenue on the west, Carlson Avenue on the north, and Dowdell Avenue on the east. Martin Avenue also dead ends on the east and west boundaries of the Project. These streets are explained below and shown graphically on *Figure 14, Street Sections*. A map of the existing and proposed public circulation system is shown on *Figure 15, Circulation Plan*.

Labath Avenue exists as a Public Avenue with no median, similar to City Standard Drawing 200F. This route also serves as a Class III Bicycle Route, and consists of two, 12-foot travel lanes; two, 8-foot parking lanes; and sidewalks on both sides of the street. Dowdell Avenue was recently constructed as part of the Fiori Estates project, just north of this proposed project. The street was developed to be a Public Avenue with no parking, similar to City Standard Drawing 200F. This street includes as a Class II Bicycle Lane, and consists of two, 12-foot travel lanes; a 14-foot two-way left turn lane; two 5-foot Class II Bicycle Lanes; and curb-separated sidewalks on both sides of the street. The northern two-thirds of Carlson Avenue were recently constructed as part of the Reserve at Dowdell project, just northeast of the proposed Project. The street was developed to be an Industrial Street, similar to City Standard Drawing 200H. This project will need to construct the remaining southern portion of the street between Dowdell Avenue and Labath Avenue. The street will include a Class III Bicycle Route, consisting of two, 14-foot travel lanes; two, 10-foot parking lanes; and sidewalks on both sides of the street upon completion.

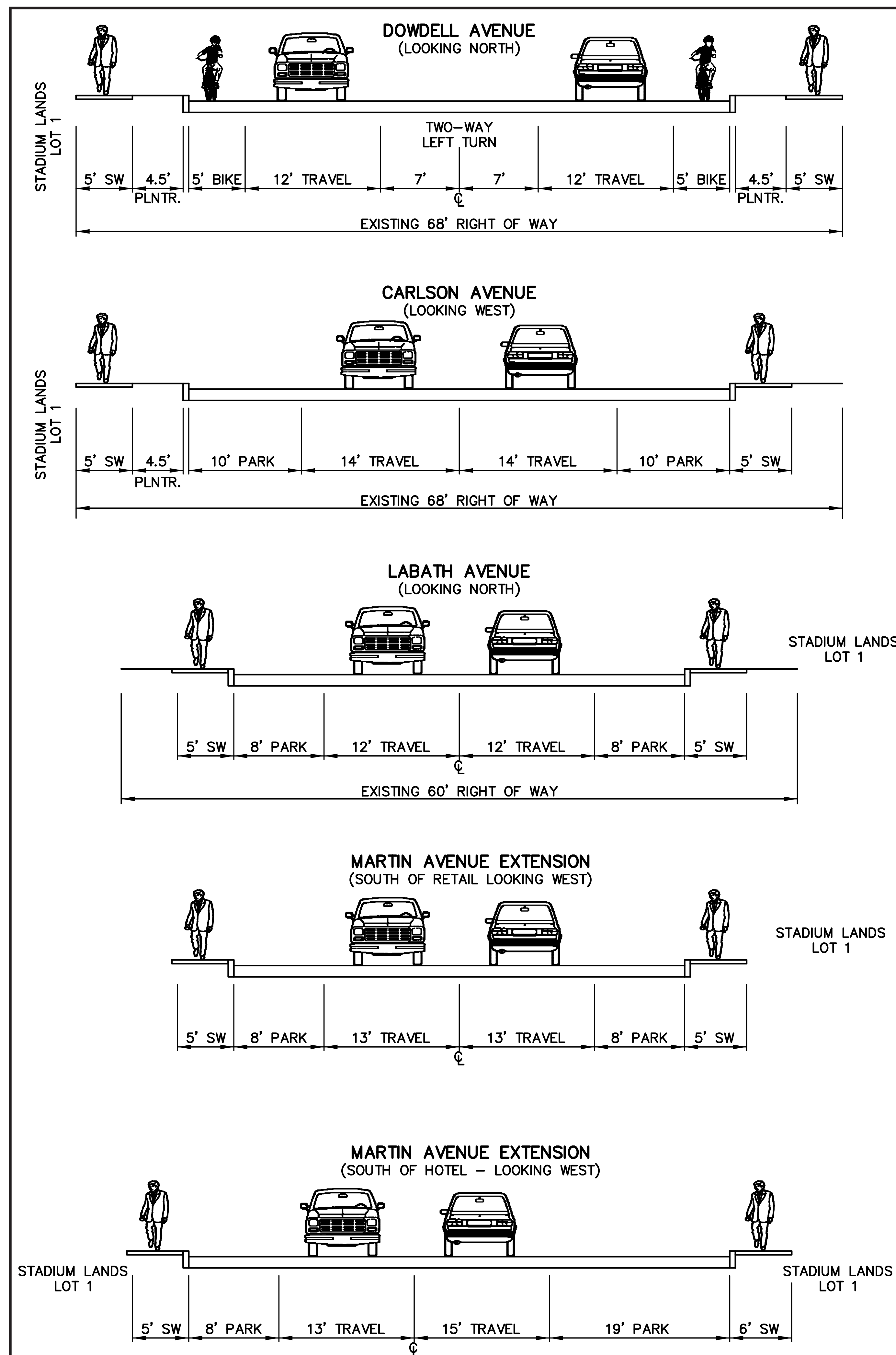


Figure 14, Street Sections

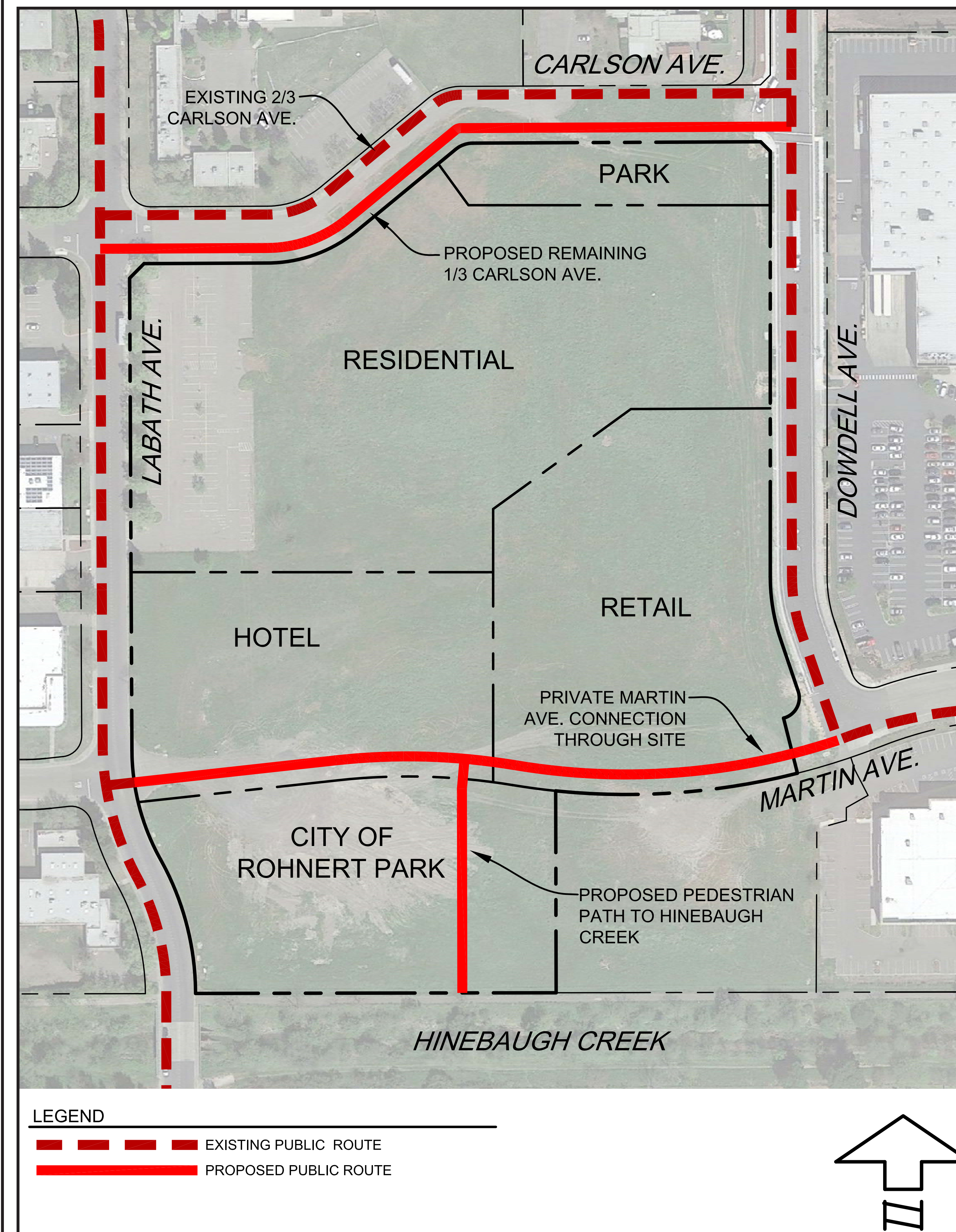


Figure 15, Circulation Plan

Private Vehicular Circulation

On-site drive aisles will be constructed throughout the Project site connecting the various parking lots serving the site. The drive aisles will be a minimum of 26 feet in width to allow enough clearance for vehicles to back out of perpendicular parking stalls provided along the route. The drive aisles for the hotel and retail shops will be interconnected, allowing shared use of their parking lots. The drive aisles serving the residential apartments will not connect to the commercial drive aisles serving the hotel and retail shops to provide a sense of separation between the two types of development.

Additionally, an extension of Martin Avenue will provide a route between Labath and Dowdell Avenues through the Project, connecting Martin Avenue on each side of the Project. This extension will also serve the City-owned public facility parcel to the south. Access to the hotel and retail shops will be provided via curb returns from Dowdell and Martin Avenues, respectively. The westerly curb return on Martin Avenue will be restricted to right in and right out movements only through appropriate striping and signage.

Access to the residential apartments will be provided by a driveway cut on Carlson Avenue. An emergency vehicle access (EVA) will be provided from of Labath Avenue. Details regarding private vehicular circulation of the site are depicted on *Figure 16, Private Vehicular Circulation Plan*.

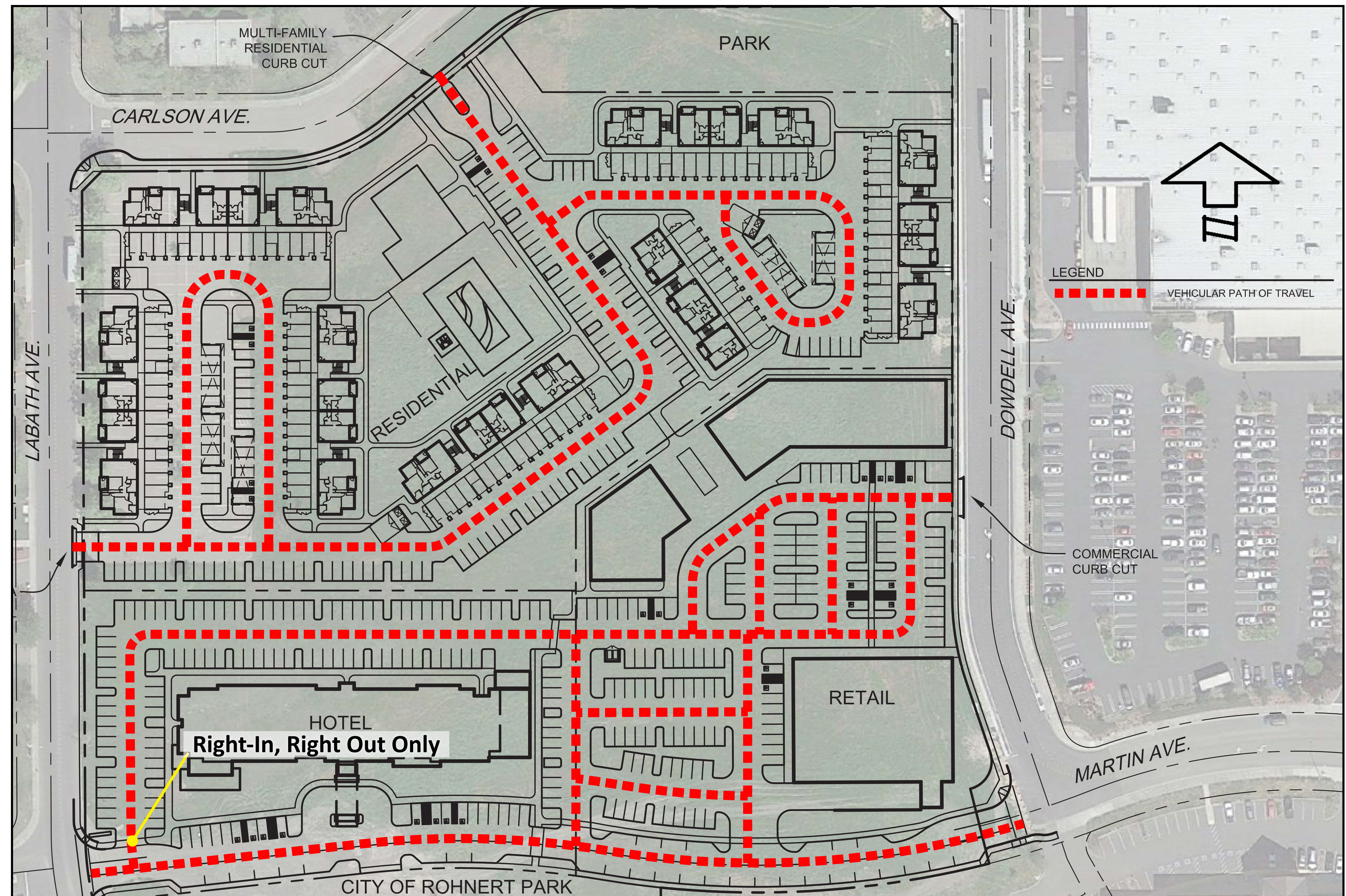


Figure 16, Private Vehicular Circulation Plan

Private Pedestrian Circulation

The private pedestrian circulation for Residences at Five Creek include an interconnected network for residents and visitors alike. The residential circulation includes multiple connections to the clubhouse on-site. Pedestrians may also walk to the retail and hotel portions of the site through the retail plaza or along Labath or Dowdell Avenues. The retail and hotel portions of the site also include two different travel paths, one along Martin Avenue and the other through the northerly portions of the retail/hotel sites. The pedestrian circulation will also include a marked crossing on Martin Avenue to Hinebaugh Creek.

The plan for Residences at Five Creek also includes convenient bicycle parking facilities for residents, shoppers, employees, and visitors that will comply with applicable CalGreen requirements. Details regarding private pedestrian circulation of the site and the conceptual bicycle parking facility locations are depicted on *Figure 17, Private Pedestrian Circulation Plan*.

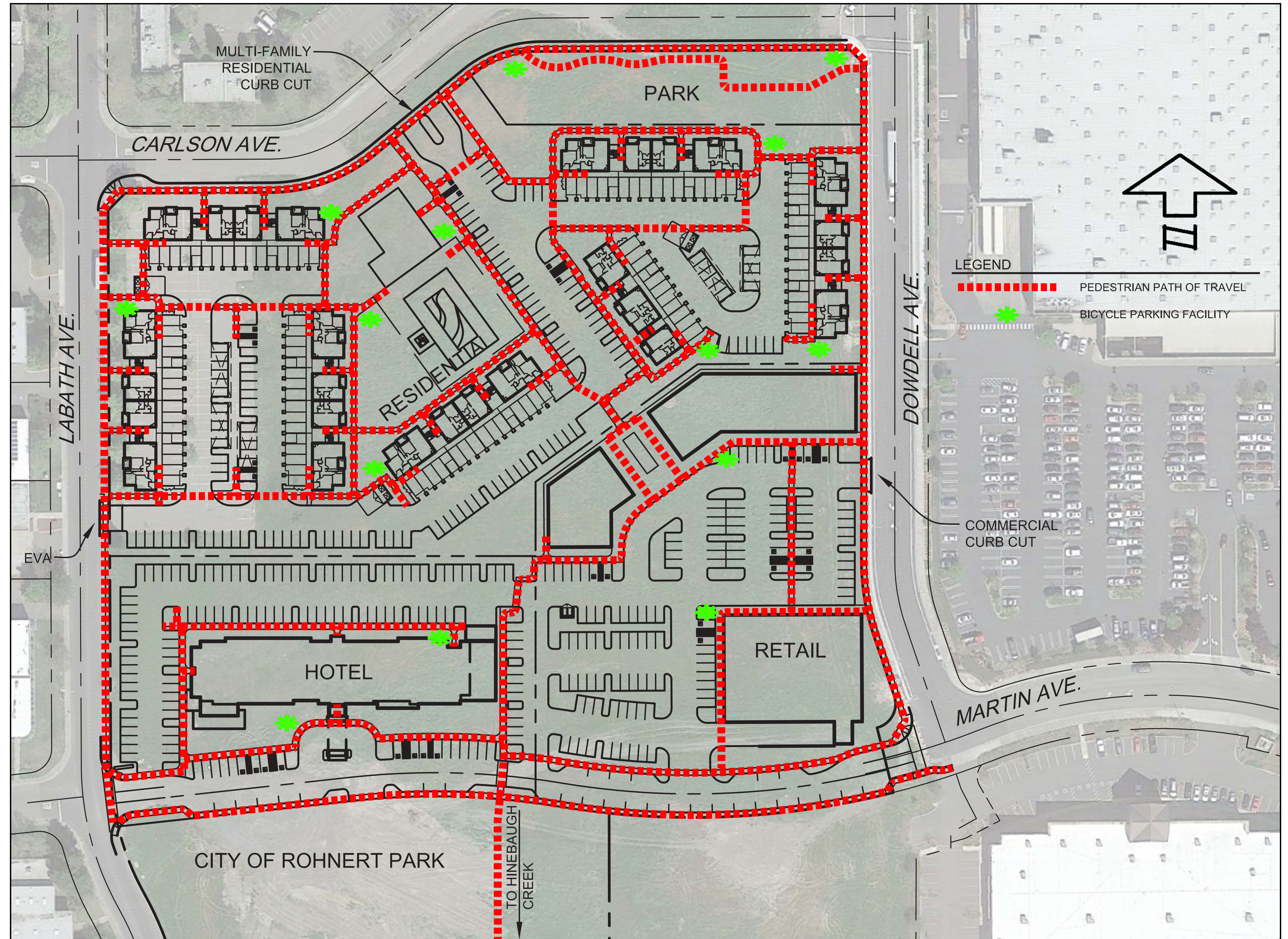


Figure 17, Private Pedestrian Circulation Plan



NOTES SCHEDULE

- | SYMBOL | DESCRIPTION |
|--------|--|
| 1 | STREETSCAPE: A consistent street tree and low water use ground cover / shrub planting will be installed in the easement between the sidewalk and project fencing. |
| 2 | PARKING AREAS: Deciduous shade trees will be installed in planter fingers to provide shade over parking areas and drive aisles. Low water use shrubs and groundcovers will provide textural and color interest. |
| 3 | EVERGREEN SCREEN: Where applicable between land use, a Redwood Tree evergreen screen will be installed to create a visual barrier between the residential and commercial areas. |
| 4 | POOL AREA RECREATION: The pool area design (to be completed) will consist of a pool, spa, lounge areas and outdoor kitchen / social area. The pool area will be secured by 5-ft. tall minimum height ornamental fencing. Plant materials will be "pool friendly" and intended to provide year round color and interest. |
| 5 | PARK LAWN AREA: The park will include lawn grass areas sufficient in size for passive recreation opportunities such as playing catch and an informal game of volley ball. |
| 6 | PARK BOCCE COURT: Two courts are proposed for an active recreation opportunity. |
| 7 | PARK PICNIC PAVILION: A 20'x20' picnic pavilion will provide opportunities for social gatherings and include picnic tables and a BBQ area. |
| 8 | SKATE FEATURES: Semi-exclusive skate features (ramps, walls, curls, etc.) area along a separated sidewalk area. |
| 9 | PARK ENTRY PLAZA: The main entrance to the park will be highlighted by a permeable paver design plaza and ramada structure. A park sign monument would also be located in this area. |
| 10 | PARK BUFFER LANDSCAPE: The non-lawn grass areas of the park will consist of various trees, shrubs and ground covers intended to provide a visual screen between the private residential and public park area. |
| 11 | RESIDENTIAL AMENITY AREA: Lawn grass area for informal play and potential tot-lot area. |
| 12 | EMERGENCY VEHICLE ACCESS: An EVA point of access provided to Labath Ave. The EVA would consist of grass block pavers. |
| 13 | COMMERCIAL ACCESS: Access between the Residential and Commercial area will be provided be a controlled access gate. |
| 14 | TRASH ENCLOSURES: ADA Accessible trash enclosure will be provided throughout the residential area. |
| 15 | PLANTER AREAS: Shrub and ground cover areas around buildings (typ). |
| 16 | PLAZA CONCEPT: Plaza to include outdoor dining opportunities, central landscape and amenity feature focal point (IE water feature or art sculpture). Informal seating areas in the form of seat walls will be incorporated in to the central area. An architectural over head structure will provide protection from the sun. Final design to be determined by design development review submittal. |

PLANT SCHEDULE		
TREES	BOTANICAL NAME	COMMON NAME
	Acer rubrum 'Armstrong'	Armstrong Red Maple
	Acer rubrum 'Autumn Blaze'	Autumn Blaze Maple
	Arbutus 'Marina'	Arbutus Standard
	Cercis canadensis 'Forest Pansy' TM	
	Cupressus sempervirens	Italian Cypress
	Existing Tree	Existing Tree
	Lagerstroemia indica 'Muskogee' (Strd)	Muskogee Crape Myrtle
	Pistacia chinensis	Chinese Pistache
	Prunus caroliniana	Carolina Laurel Cherry
	Prunus cerasifera 'Thunder Cloud'	Thunder Cloud Flowering Plum
	Pyrus catoriana 'Chanticleer'	Chanticleer Pear
	Quercus agrifolia	Coast Live Oak
	Rhaphiolepis indica 'Majestic Beauty' TM	Indian Hawthorne Standard
	Sequoia sempervirens 'Aptos Blue'	Aptos Blue Redwood
	Tilia cordata	Littleleaf Linden
	Washingtonia robusta	Mexican Fan Palm
	Zelkova serrata 'Village Green'	Sawleaf Zelkova

DESIGN NOTE
The Plant List is tentative and may expand or contract as the final planting design is prepared.

CALGreen+Tier 1 Checklist
The design of the landscape / irrigation system is intended to meet the CALGreen+Tier 1 Checklist associated with landscape elements. Toward this end the project will include the following best practices:

- Lawn grass area, limited to not more than 50% of the landscape, shall be irrigated by a low volume pop-up rotary sprinkler system.
- Hydrozone irrigation techniques will be incorporated.
- The plant palette will utilize at least 75% native California or drought tolerant plant materials appropriate to the climate zone region. *Note: Plant list illustrated is tentative and may expand or contract as the final design is prepared.*
- The use of potable water will be reduced to a quantity that does not exceed 65% of ETo times the landscape area.
- Common area and perimeter area landscape irrigation will consist of a combination of water conserving low volume rotary sprinklers (where appropriate in large ground cover areas), traditional drip irrigation, and an in-line drip irrigation system.
- All irrigation valves shall be connected to an automatic control system.
- All irrigation systems shall be designed to meet the most current water conservation policies and available equipment.

- Plant Container Sizing**
- Trees to be planted from minimum 15-gallon size containers
 - Shrubs to be planted from 5-gallon and 1-gallon containers
 - Ground Covers to be planted from 1-gallon containers
 - Lawn areas to be planted from sod

PARK NOTE:
Park design per input received from Parks Commission. Park amenity construction to be phased based on initial and future available funds. Per agreement, the developer is responsible for a set amount of funding. Future funding to be provided by City to complete park as designed.

Figure 18, Preliminary Landscape Concept Plan



Creative Play Area



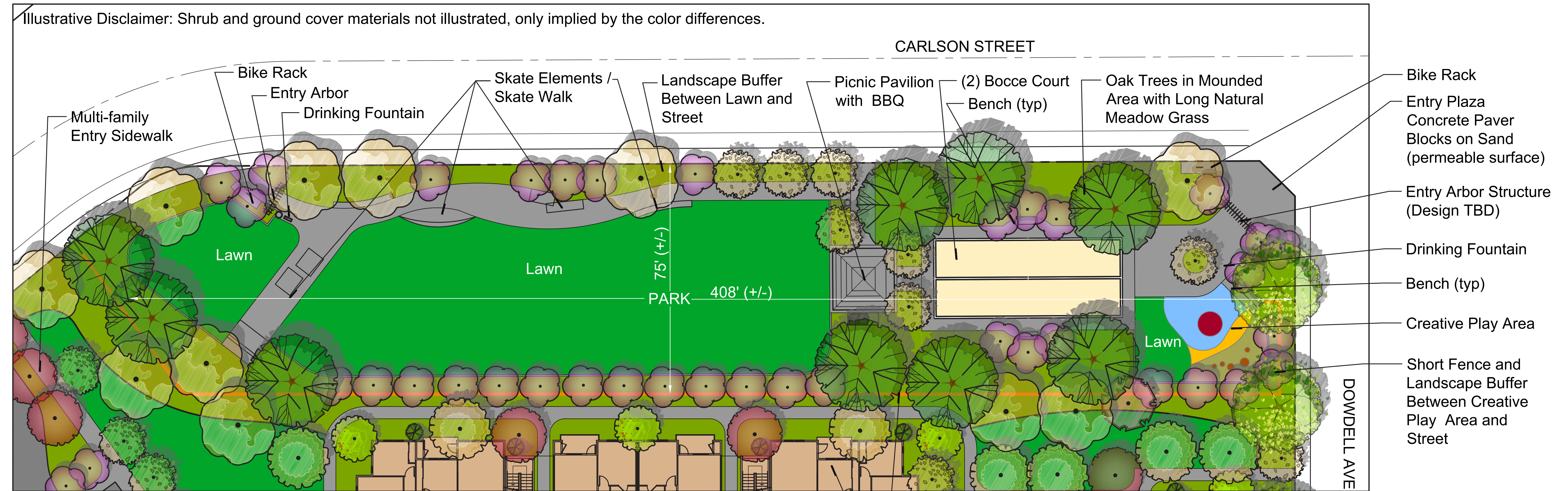
Bocce Courts



Picnic Pavilion



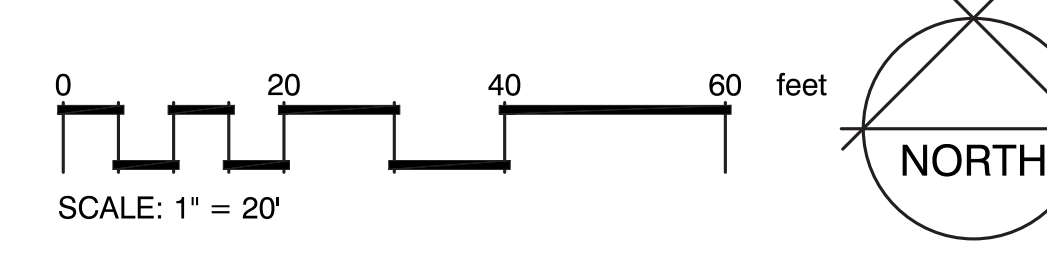
Skate Elements Walk



PLANT SCHEDULE PARK TREES

TREES	BOTANICAL NAME	COMMON NAME	CONT
	<i>Acer rubrum</i> 'Autumn Blaze' Deciduous	Autumn Blaze Maple	24" Box
	<i>Arbutus x Marina</i> Broadleaf Evergreen	Arbutus Standard	24" Box
	<i>Cercis canadensis</i> 'Forest Pansy'™ Deciduous	Forest Pansy™	15 gal
	<i>Lagerstroemia indica</i> 'Muskogee' (Snd) Deciduous	Muskogee Crape Myrtle	24" Box
	<i>Pistacia chinensis</i> Deciduous	Chinese Pistache	15 gal
	<i>Quercus agrifolia</i> Broadleaf Evergreen	Coast Live Oak	24" Box

- PARK DESIGN INTENT**
- The .65 acres of proposed neighborhood park is intended to serve both the passive and active recreation needs of the surrounding community.
 - Active recreation - Bocce (two courts), Creative Play Area for small children.
 - Picnic shelter for group gatherings.
 - Parking provided on Carlson and Labath Ave.
 - Security lighting to be determined (no night time Skate lighting after specific hours - TBD).
 - High water use lawn grass is kept to a minimum, with an emphasis on lawn areas that can serve as areas for informal active sports opportunities (throw a ball, Frisbee, running around, etc.).
 - The surrounding landscape is intended to be relatively low maintenance, reflect water conservation concerns, and provide a relaxing atmosphere to enjoy nature, read a book, or just hang out.



Park Overview

Figure 19, Preliminary Park Concept Plan

Water

The Project will tie into the City water system to serve domestic and fire protection demands. There are existing water mains in the streets adjacent to the Project. Labath Avenue contains an existing 8-inch water main, which currently has three 8-inch lines stubbed into the project. A 12-inch water main was installed in Dowdell Avenue with the construction of the Fiori Estates project to the north. The water main in Dowdell Avenue connects to an existing 12-inch main in Martin Avenue. The main in Martin Avenue ends just outside the project limits, at the existing edge of pavement at the westerly end of Martin Avenue. A 12-inch water main was installed in Carlson Avenue with the construction of The Reserve at Dowdell project to the northeast. The water main in Carlson Avenue ties into the water main within Dowdell Avenue. As part of the Project, the 12-inch water main in Carlson Avenue will be extended to the existing 8-inch water main in Labath Avenue, providing a looped water system around the Project. See Figure 18, Water Plan for a graphic representation of existing and proposed systems.

This project will require multiple separate water meters with associated private water mains to serve this project. The hotel, retail, and residential dwelling units will be metered separately, and each of these developments will require a separate private fire protection main to connect building fire protection systems. If potable water is proposed for the park, a separate water meter will also be required for the park parcel.

Water mains serving the commercial areas and City parcel will need to be 12-inch minimum based on an assumed fire flow demand of 3,000 gpm. Irrigation was not considered in the water demand estimations. It is assumed the irrigation needs will be met with recycled water.

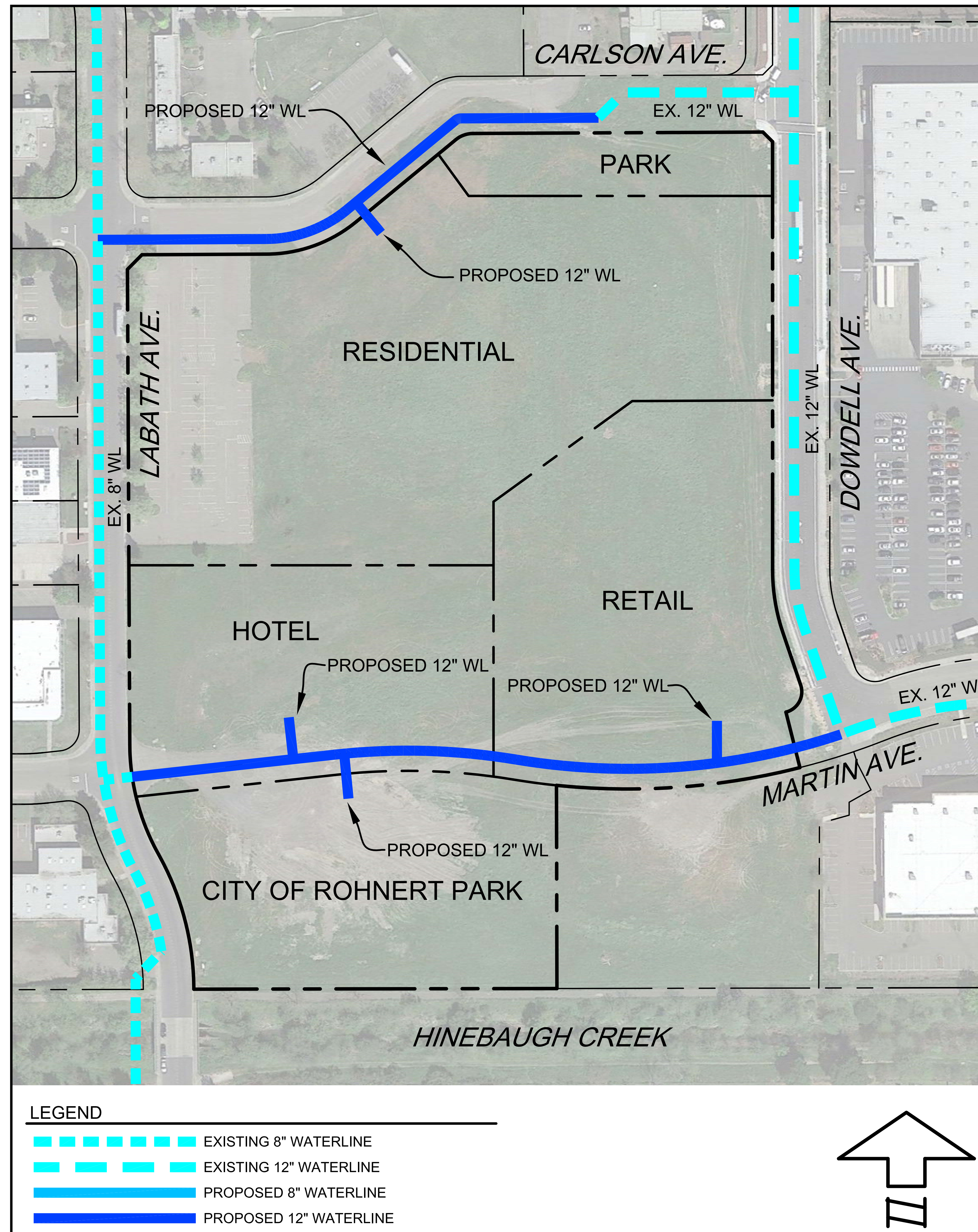


Figure 20, Water Plan

Domestic water demands are estimated as follows:

$$Q_{RESIDENTIAL} = (100 \text{ gallons/person/day}) \times (2.0 \text{ people/unit}) \times (135 \text{ units})$$

$$Q_{RESIDENTIAL} = 27,000 \text{ gpd}$$

$$Q_{HOTEL} = (125 \text{ gallons/room/day}) \times (133 \text{ rooms})$$

$$Q_{HOTEL} = 16,625 \text{ gpd}$$

$$Q_{RETAIL} = (0.112 \text{ gallons/sq. ft./day}) \times (34,300 \text{ sq. ft.})$$

$$Q_{RETAIL} = 3,842 \text{ gpd}$$

$$Q_{TOTAL} = 47,467 \text{ gpd} = 0.05 \text{ mgd}$$

Recycled Water

The project will tie into the City recycled water system to serve irrigation demands. There are existing recycled water mains in the public streets adjacent to the project. Labath Avenue contains an existing 8-inch recycled water main, with a 4-inch lateral stubbed into the Project. Also, a 2-inch service line currently serves irrigation needs for the existing parking lot in the northwest corner of the project. An 8-inch recycled water main was installed within Dowdell Avenue with the construction of the Fiori Estates project to the north. See Figure 19, Recycled Water Plan for a graphic representation of existing and proposed systems.

New services will be required to serve irrigation demands for the hotel, retail, City parcel, residential dwelling units, and the public park. The required size of meters and services will be determined as construction drawings are developed.

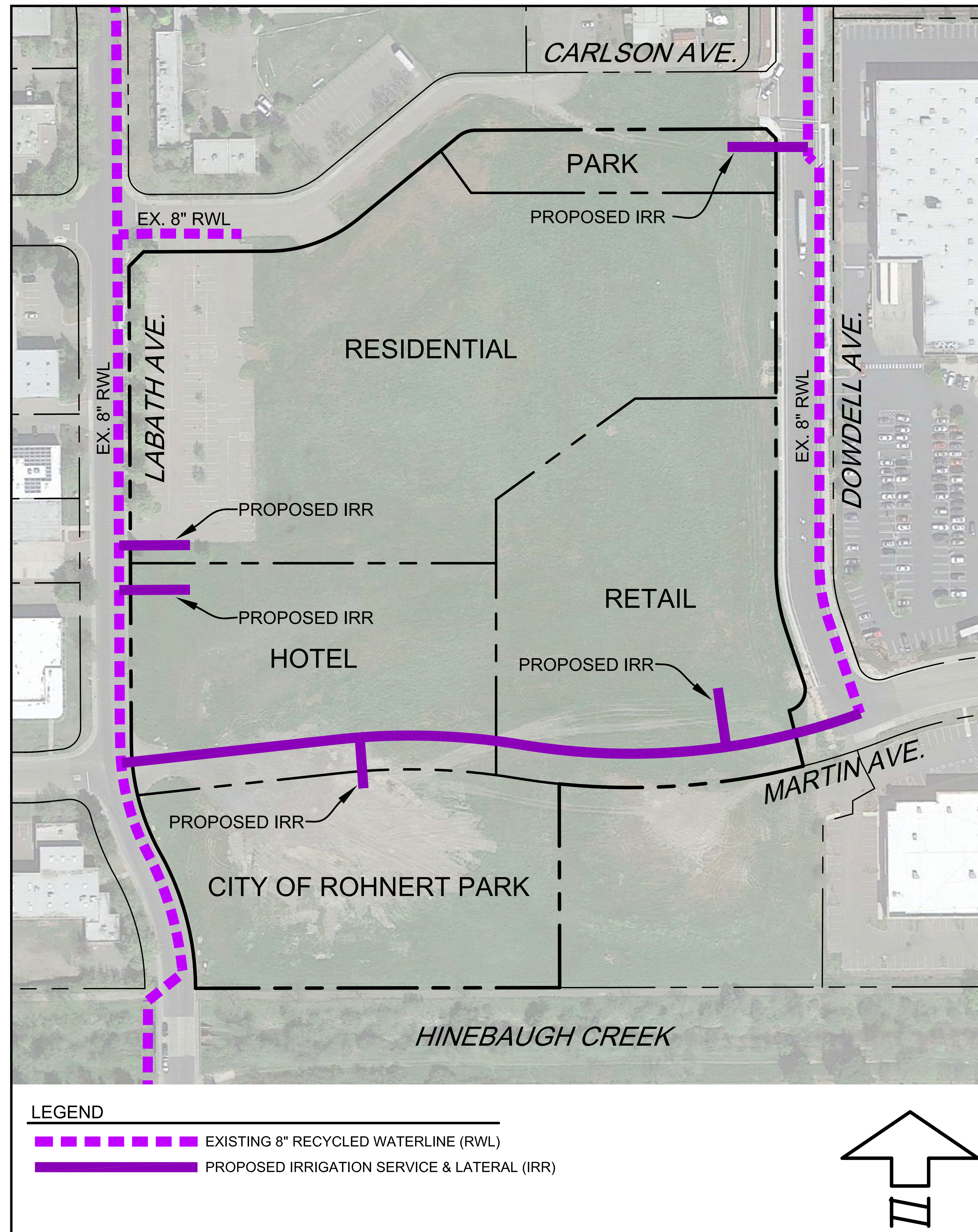


Figure 21, Recycled Water Plan

Sewer

The Project will tie into the City sanitary sewer system to serve wastewater demands. There are existing sanitary sewer systems in the public streets adjacent to the site. Labath Avenue contains an existing 6-inch sanitary sewer directing effluent in a northerly direction. Carlson Avenue has an existing 6-inch sanitary sewer that connects into the system in Labath Avenue. An 8-inch sanitary sewer system was installed within Dowdell Avenue with the construction of the Fiori Estates project to the north. This system ties into an existing 8-inch system within Martin Avenue, which flows easterly to a trunk sewer within Redwood Drive.

Two, 6-inch sanitary sewer laterals were stubbed into the project property from the Dowdell system as part of the Fiori Estates project, which considered future flows from this project site as tributary to this system. There are also a couple of 6-inch sanitary sewer laterals stubbed into the project from Labath Avenue. See *Figure 20, Sewer Plan* for a graphic representation of the on-site sewer layout. See *Figure 21, On-Site Utility Plan* for a graphic representation of existing and proposed systems.

The design flows will be calculated per the City of Rohnert Park Manual of Standards, Details, and Specifications. An analysis of the Labath Avenue system shows that the existing 6-inch main is at capacity, and cannot accept additional flows from the site. Fortunately, a similar analysis shows that the 8-inch sewer in Dowdell Avenue and Martin Avenue can accept this additional flow.

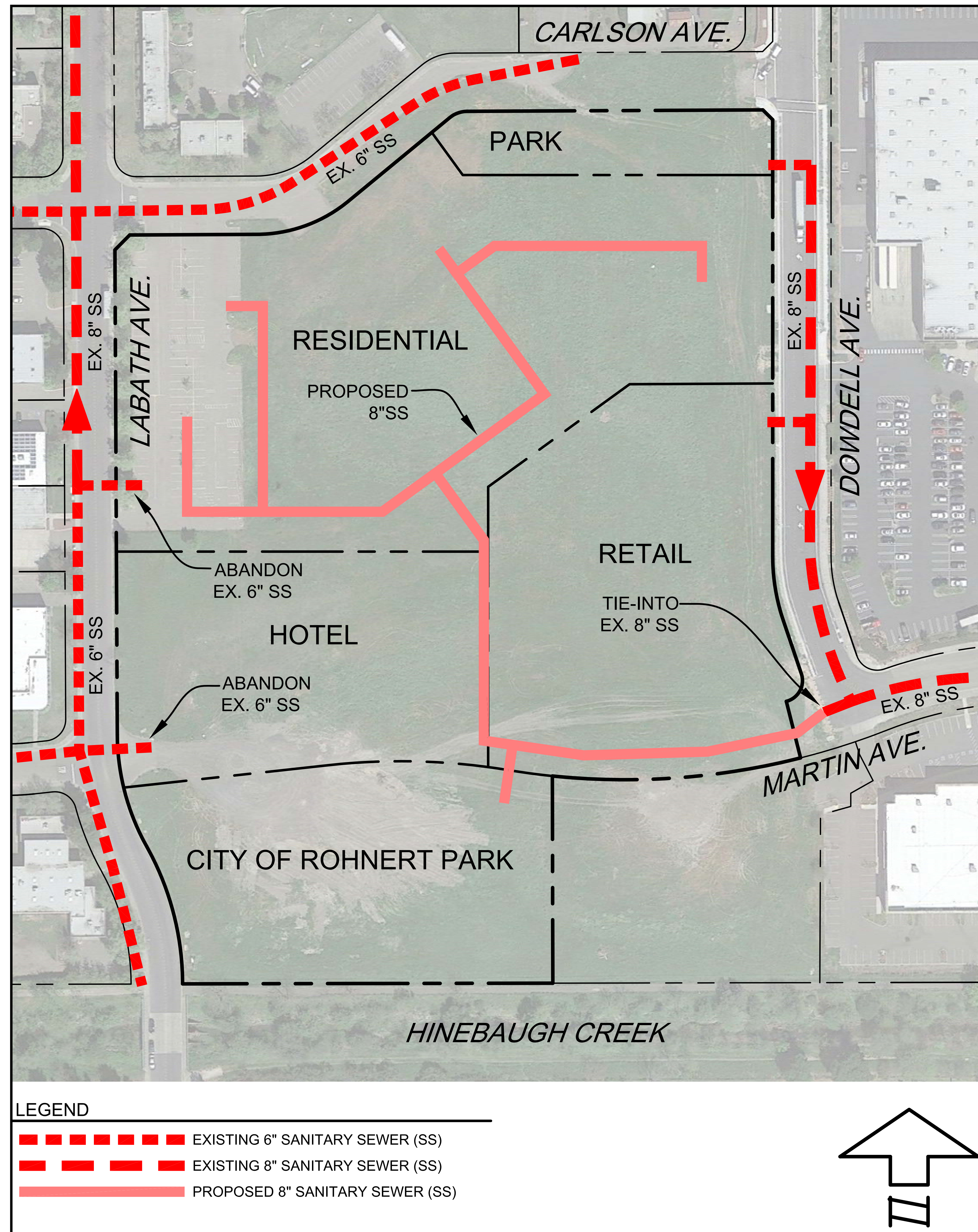


Figure 22, Sewer Plan

Sewer demands are estimated as follows:

$$Q_{RESIDENTIAL} = (100 \text{ gallons/person/day}) \times (2.0 \text{ people/unit}) \times (135 \text{ units})$$

$$Q_{RESIDENTIAL} = 27,000 \text{ gpd}$$

$$Q_{HOTEL} = (125 \text{ gallons/room/day}) \times (133 \text{ rooms})$$

$$Q_{HOTEL} = 16,625 \text{ gpd}$$

$$Q_{RETAIL} = (0.112 \text{ gallons/sq. ft./day}) \times (34,300 \text{ sq. ft.})$$

$$Q_{RETAIL} = 3,842 \text{ gpd}$$

$$Q_{TOTAL} = 0.05 \text{ mgd}$$

Accounting for the peaking factor:

$$Q_{PEAK} = 0.20 \text{ cfs}$$

$$Q_{1/1} = (1.4 \text{ gpm/acre}) \times (15.25 \text{ acre})$$

$$Q_{1/1} = 21.35 \text{ gpm} = 0.05 \text{ cfs}$$

$$Q_{DESIGN} = 0.25 \text{ cfs} = 0.16 \text{ mgd}$$

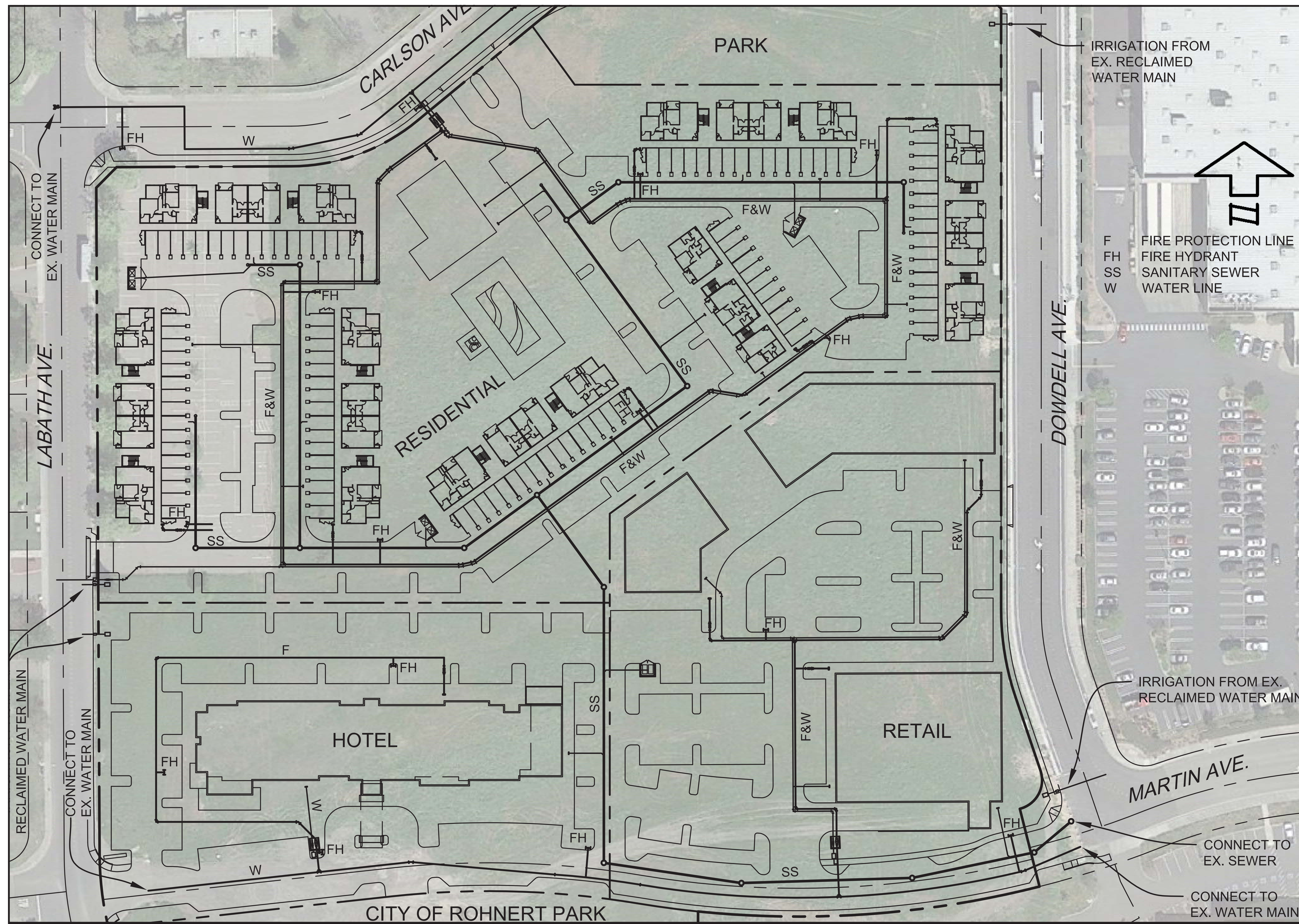


Figure 23, On-Site Utility Plan

Stormwater Flood Control

The Project site is primarily undeveloped, consisting predominately of vacant land. There is a small paved parking lot in the northwestern corner of the site. The existing topography is relatively flat, gently sloping westerly toward Labath Avenue. This Project was included as a tributary to the storm drain system within Labath Avenue, where the site currently drains. An existing 30-inch and 36-inch storm drains collect runoff and convey flows westerly down Martin and Carlson Avenues, respectively. These storm drains ultimately converge and outlet into Hinebaugh Creek.

As part of the Costco project, a new outfall to Hinebaugh Creek was constructed. The design of this storm drain system did not include the Project site or the Coddling parcel as tributary, thus, this system is at full capacity. The Project will require the construction of a new system to drain on-site runoff. This system will require a new outfall to Hinebaugh Creek, just west of the existing Labath Avenue Bridge. The new storm drain system will be designed to accept 15.25 acres from the Project, the City's parcel and the Coddling parcel for a total tributary area of 17.08 acres. See Figure 22, Storm Drain Plan for a graphic representation of existing and proposed storm drain systems.

The tributary area is less than one square mile, and would be classified as a minor waterway. The storm drain system will be designed to accommodate the 10-year storm event and will require a 36-inch minimum diameter storm drain per the attached Channel Report.

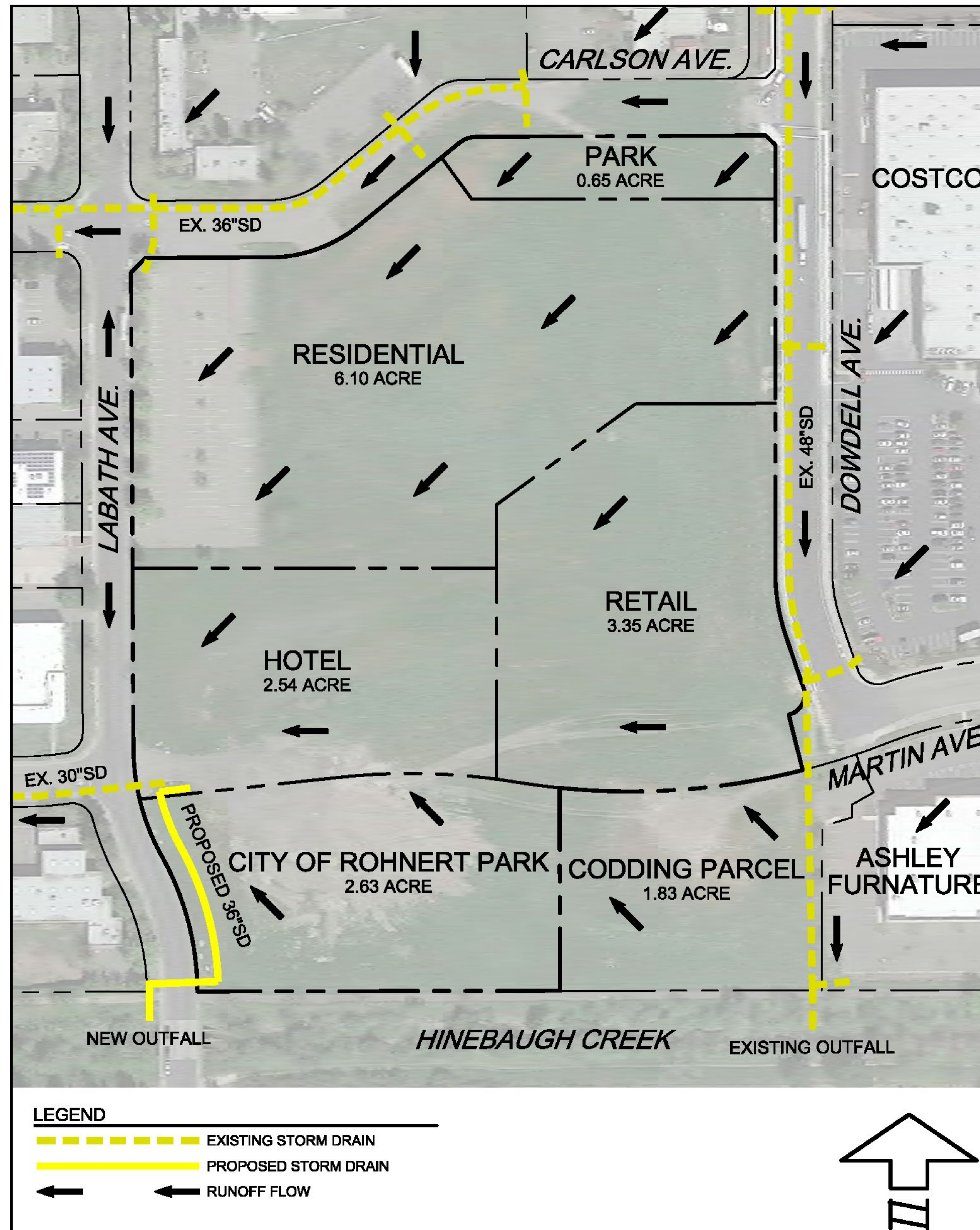


Figure 24, Storm Drain Plan

Using the Sonoma County Water Agency (SCWA) Flood Control Design Criteria, the approximate design flow required to size the proposed system – $Q=CIAK$

- Q =flow (cfs)
- C =runoff coefficient (unitless)
- I =rainfall intensity for design storm (in/hr)
- A =drainage area (acres)
- K =mean seasonal precipitation factor (unitless)

As a minor waterway, the time of concentration for the site is 7 minutes based on times of concentration for commercial or similar areas. Thus, the rainfall intensity per Plate B-2:

$$I_{10} = 7.08/t_c^{0.526}$$

$$I_{10} = 7.08/(7 \text{ min})^{0.526} \text{ or } I_{10} = 2.54 \text{ in/hr}$$

The runoff coefficient was set at 0.90 for the developed areas. Per Plate B-3, the precipitation factor was set to 1. Therefore, the approximate flow needed to size the outlet is:

$$Q_{10} = (0.90) \times (2.54 \text{ in/hr}) \times (17.10 \text{ acres}) \times (1) \text{ or } Q_{10} = 39.09 \text{ cfs}$$

Assuming a normal flow through a HDPE pipe ($n=0.012$), a 36-inch minimum diameter storm drain is required.

Stormwater Quality

In addition to flood control, the City of Rohnert Park has adopted the City of Santa Rosa and County of Sonoma Storm Water Low Impact Design Technical Design Manual (LID Manual, 2012) to address stormwater runoff quality and quantity from new development and redevelopment projects. To meet the design goal, 100% of the runoff generated from the 85th percentile, 24-hour storm event must be captured on-site and stored for infiltration and/or reuse.

The design goal will be met by providing gravel storage zones under vegetated areas within the site. CalGreen requirements will require a certain percentage of the apartment complex to be paved with permeable materials, potentially allowing for additional runoff storage under the parking lot. The total volume of storage required for the project will be reduced based on the use of pollution prevention measures such as interceptor trees, impervious area disconnection, and vegetated buffers. See the Preliminary Storm Water Mitigation Plan (PSWMP) submitted with this package for details.

Grading and Phasing

The site will be developed in two phases, with the hotel, residential apartments, and park developing first, followed by the retail portion. Construction for the first phase of the project is expected to take 12 months, and the second phase of construction should be completed 6 months after. Heavy construction equipment will be required to form the drive aisles, parking lots, and building pads proposed throughout the site. The Project will require the over excavation and re-compaction of the first 2 feet of soil over the site, requiring approximately 40,800 cubic yards of earthwork. This earthwork will be balanced on-site. See *Figure 23, Conceptual Grading Plan* for the proposed on-site grading. See *Figure 24, Phasing Plan* for the Project’s phasing.

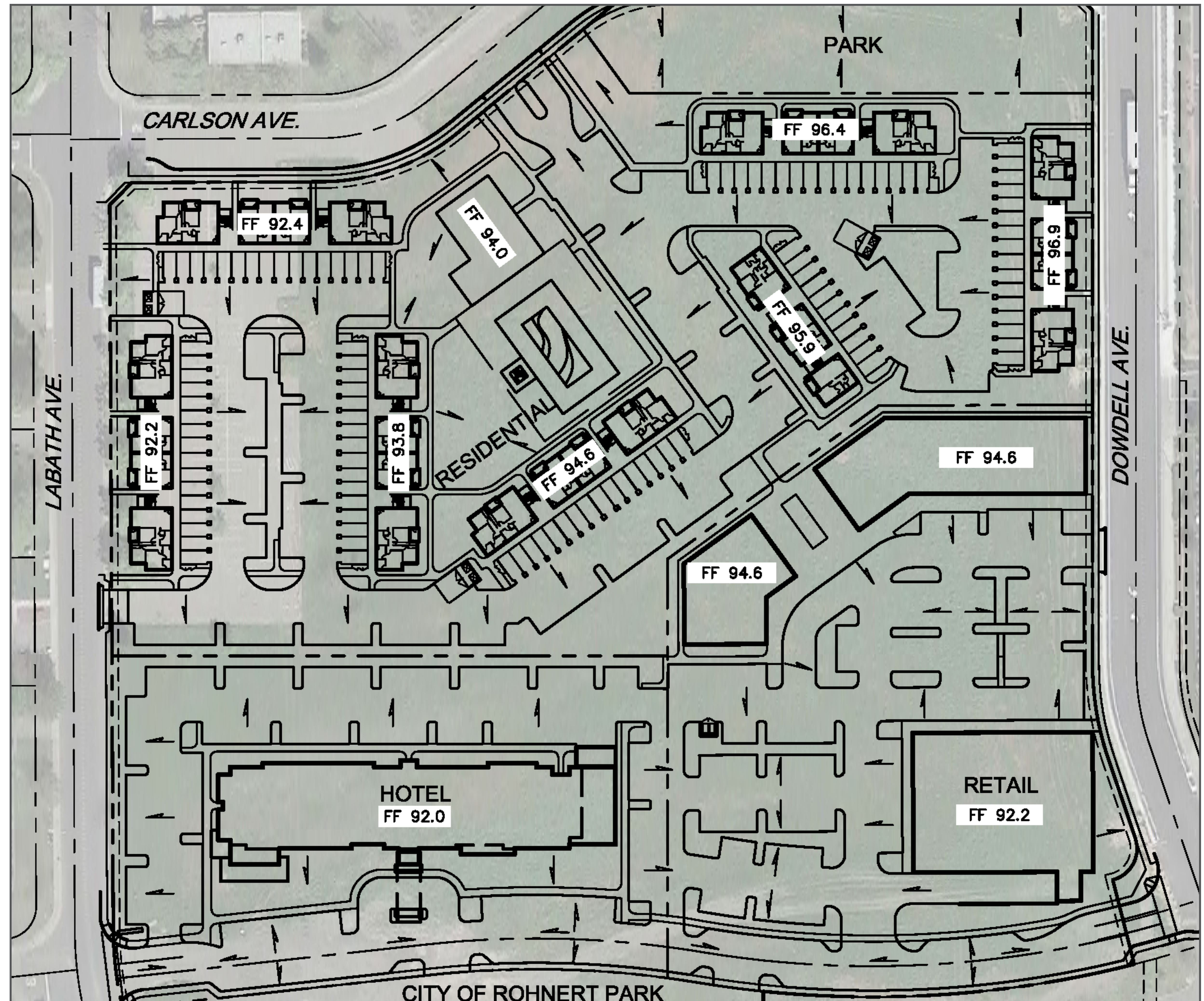


Figure 25, Conceptual Grading Plan

Financing

It is anticipated that the developer will fund all construction within the Project site, and will contribute through the City of Rohnert Park Public Facilities Finance Plan for the funding of off-site services. These fees will also include school mitigation fees, park fees, sewer and water connection fees, storm drain fees, engineering plan check fees, grading plan and permit fees, building plan and permit fees, affordable housing in-lieu fees, and area-wide impact fees. Frontage improvements along Dowdell Avenue – including sidewalk and landscaping – are eligible for reimbursement from the City as a credit to fees as established by the Public Facilities Finance Plan.

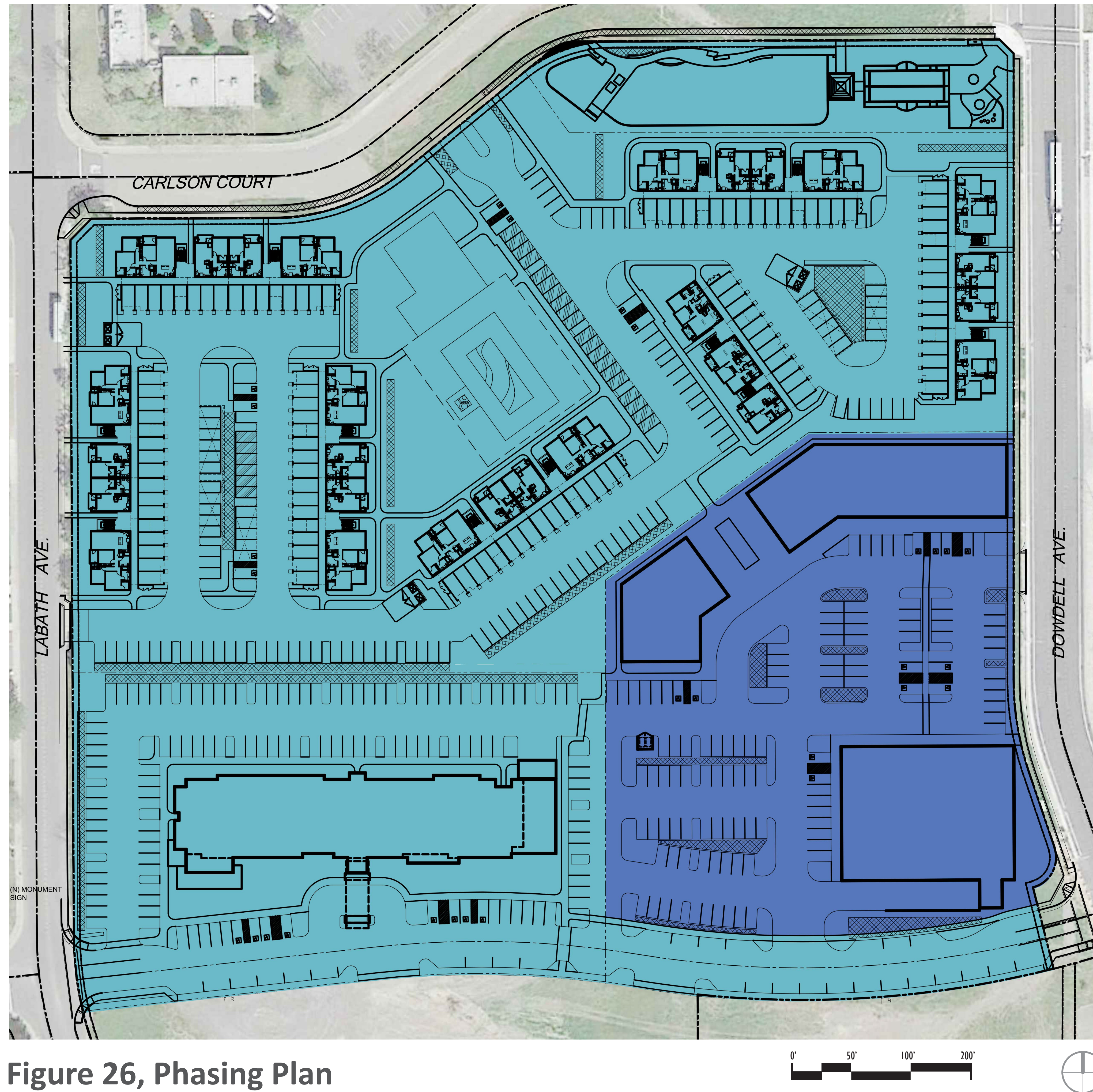


Figure 26, Phasing Plan

Construction Phase:
 Phase 1
 Phase 2

ADOPTED PER CC RESOLUTION NO. 2017-10

Conditions of Approval

Residences at Five Creek Project

The conditions below shall apply to the Residences at Five Creek Project within the Stadium Area Master Plan (SAMP). All conditions run with the land and apply to all development within the Residences at Five Creek project area (APN: 143-040-124), unless otherwise noted.

General Conditions

1. All applicable provisions of the City of Rohnert Park Municipal Code, and as subject to the Residences at Five Creek Development Agreement (DA) approved by Ordinance No. 903, are made a part of these conditions of approval in their entirety, as if fully contained herein.
2. The violation of any condition listed herein shall constitute a nuisance and a violation of the City of Rohnert Park Municipal Code (RPMC). In conformity with Chapter 1.16 of the City of Rohnert Park Municipal Code, a violation of the City of Rohnert Park Municipal Code may be an infraction or a misdemeanor and shall be punishable as provided by law. In addition to criminal penalties, the City may seek injunctive relief. The Applicant agrees to pay for all attorney's fees and costs, including, but not limited to, staff time incurred by the City in obtaining injunctive relief against the Applicant as a result of a failure of the Applicant to fully perform and adhere to all of the Conditions of Approval.
3. The Applicant agrees to defend, indemnify, hold harmless and release the City of Rohnert Park, its agents, officers, attorneys and employees from any claim, action or proceedings brought against any of the above, the purpose of which is to attack, set aside, void, or annul the approval of this application or certification of the environmental document which accompanies it. This indemnification obligation shall include but not be limited to, damages, costs, expenses, attorneys', or expert witness fees that may be asserted by any person or entity, including the Applicant, whether or not there is concurrent passive or active negligence on the part of the City, its agents, officers, attorneys or employees.

General Project Conditions

4. By accepting the benefits conferred under the Residences at Five Creek Project, the Applicant acknowledges all the conditions imposed and accepts the development subject to those conditions. The use of the property by the Applicant for any activity authorized by the project approvals shall constitute acceptance of all of the conditions and obligations imposed by the City. The Applicant by said acceptance waives any challenges as to the validity of these conditions.
5. Each phase of development shall be designed, approved and installed to be consistent with the overall buildout of the Residences at Five Creek Final Development Plan, the Stadium Lands P-D Zoning District, the RPMC and the City of Rohnert Park General

Plan. The Residences at Five Creek Project shall comply with all applicable mitigation measures established in the Environmental Impact Report (EIR) adopted in 2008 for the Stadium Area Master Plan (SCH # 2005042111) and the Mitigated Negative Declaration (SCH# 2016112026) (MND) prepared for the Residences at Five Creek Project specifically. Projects implementing the Final Development Plan and each development phase shall also comply with the implementation, monitoring and reporting requirements for each mitigation measure established in the Mitigation Monitoring Program adopted with the EIR and the MND. Costs of implementing and monitoring the mitigation measures shall be borne by the Applicant and any successors-in-interest.

6. A community facilities district or other funding mechanism approved by the City Attorney shall be formed by the Applicant encompassing the residential portion of the project in order to provide \$800/year/residential unit and offset the impacts on the city's General Fund.

Project Design Conditions

7. Prior to any new construction, the Applicant shall apply for and receive Site Plan and Architectural Review (SPAR) approval from the Planning Commission as required by the City of Rohnert Park Municipal Code.
8. The project applicant shall incorporate the following GHG reduction measures into the project design:
 - Compliance with the applicable Title 24 energy efficiency standards at the time of development. At a minimum, compliance with the 2016 Title 24 standards
 - Compliance with state and/or local green building standards. At a minimum, implementation of CALGreen Tier 1 standards
 - Installation of high efficiency LED lights in outdoor areas
 - Participation in a Transportation Demand Management Program
 - Improvement the pedestrian network and implementation traffic calming measures throughout the project
 - Diversion of solid waste diversion consistent with AB 341
 - Inclusion of shade canopies over parking lots, where appropriate and feasible
 - Provision of information regarding transit availability to residents and employees
 - Provision of carpool and/or car sharing parking spaces
 - Provision of electric vehicle parking
 - Compliance with the City bicycle master plan and provision of at least 34 bicycled parking spaces for the residential units, 9 bicycled parking spaces for the hotel and 8 bicycled parking spaces for the retail space.
9. Landscaping shall be constructed in accordance with the State's Model Water Efficient Landscaping Ordinance (MWELo), or in accordance with water conservation standards which meet or exceed the requirements of the MWELo. The Applicant shall submit a landscaping and irrigation plan that identifies landscape material types and locations, irrigation, water usage calculations, and other information as required. The plan shall be submitted and reviewed by the Development Services Department with each phase of the project. All costs for

review of the requirements of the MWELo shall be borne by the Applicant. All landscaping and irrigation subject to the MWELo shall be substantially complete prior to the issuance of a Certificate of Occupancy.

Public Safety Conditions

10. Prior to the issuance of a building permit, the Applicant shall submit a fire hydrant location plan to the Fire Marshal for review and approval. The Applicant shall make provisions for the repair and maintenance of the system in a manner meeting the approval of the Fire Marshal. Fire hydrants must be in place and fully operational within 150 feet of any construction site before the delivery of any combustible materials to that site. Contact the Fire Prevention Bureau for a clearance memo.
11. Prior to the issuance of any Certificate of Occupancy, all fire hydrants shall have a fully functional system with blue reflective pavement markers indicating the hydrant locations on the street as approved by the Fire Marshal. The property owners must maintain the blue reflective pavement markers in good condition and the maintenance requirement shall be included in the CC&Rs for the Planned Development.
12. Fire sprinklers and alarm systems are required for all structures.
13. All properties shall be clearly marked with lighted address numbering on the front of each unit and on both front and rear of the units having rear alley access; rear addressing shall include the street name utilizing street signage in conformance with Design Standards. A complex directory shall be erected at each entry to the development. Details of the directory shall be submitted for review and approval by the Fire Marshal.
14. Fire Apparatus Access Roads and Fire Lanes must be fully identified with signage and/or curb markings as approved by the Fire Marshal.
15. Graffiti shall be removed from all structures (such as exterior building walls, retaining walls, noise attenuation walls, utility poles and boxes) within 24 hours of discovery at the expense of the owner or property manager. This provision shall be included in the CC&Rs.
16. Each development phase or portion of a phase shall indicate building type, size, and construction features. Plans shall be reviewed by the Public Safety Department for fire and life safety requirements such as: fire flow, fire hydrants, fire sprinklers, fire department connections, alarm systems, smoke control systems, public-safety, radio amplification systems, gates, egress, and exiting. Such plans will be reviewed and commented on for individual blocks and buildings.
17. Prior to issuance of a grading permit, the Applicant for each development phase shall submit a Phase II Environmental Site Assessment covering any areas of known concern identified in the Phase I Environmental Site Assessment.
18. Prior to issuance of a Certificate of Occupancy, the Applicant shall provide plans or identify measures to comply with standard procedures for implementing the California Fire Code and nationally recognized standards in the use of any combustible and flammable liquids, aboveground or underground storage of such

materials, welding and potential spark production, and building occupancy rating in a manner meeting the approval of the Fire Marshal.

19. Prior to the issuance of a building permit, the Applicant shall submit to the Fire Marshal a list of all hazardous, flammable and combustible liquids, solids or gases to be stored, used or handled on site. These materials shall be classified according to the California Fire Code, and the information the Applicant submits to the Fire Marshal shall include a summary listing of the totals for storage and use for each hazard class. Prior to the issuance of a building permit, the Applicant shall also complete and submit to the Fire Marshal a copy of a "Hazardous Materials Inventory Statement and Hazardous Materials Business Plan" packet.
20. Applicant/operator shall store, manifest, transport, and dispose of all onsite generated waste that meets hazardous waste criteria in accordance with California Code of Regulations Title 22 and in a manner to the satisfaction of the Sonoma County Environmental Health Department and Emergency Services Department. Applicant shall keep storage, transportation, and disposal records on site and open for inspection to any government agency upon request.

Grading and Improvement Plan Requirements

21. All improvements shall be designed in conformance with: the City of Rohnert Park, Manual of Standards, Details and Specifications in effect at the time of development; the Residences at Five Creeks Final Development Plan; and the conditionally approved tentative map for the Residences at Five Creeks.
22. The Project benchmark shall be based on a City approved USGS benchmark.
23. Mailbox plans and locations shall be approved by the Rohnert Park Postmaster prior to improvement plan approval. The applicant shall provide a letter and exhibit showing mailbox locations from the Rohnert Park Postmaster approving mailbox locations.
24. The applicant shall submit a geotechnical study conducted by an engineer licensed in the State of California and qualified to perform soils work, or a California Certified Geologist and acceptable to the City. Recommendations shall be provided, as necessary, to prevent damage to Project facilities and compliance with these recommendations shall be required as a condition of development at the Project site. The grading and improvement plans shall incorporate the recommendations of the approved geotechnical study. This geotechnical study shall at a minimum evaluate the following:
 - a. The liquefaction potential at the Project site.
 - b. The location and extent of expansive soils at the Project site, including recommendations regarding the treatment and/or remedy of on-site soils, and the structural design of foundations and underground utilities.
 - c. Seismic safety including recommendations regarding the structural design of foundations and underground utilities.

Grading Plan Requirements

25. The grading plan shall be prepared by a Registered Civil Engineer, licensed in the State of California and shall be submitted for review and approval by the City Engineer.
26. The grading plan shall clearly show all existing survey monuments and property corners and shall state that they shall be protected and preserved.
27. All existing wells, septic tanks and/or underground fuel storage tanks shall be abandoned under permit and inspection of Sonoma County Environmental Health or other designated agency. If there are none, the project engineer shall provide a letter describing the scope of the search done to make this determination.

Improvement Plan Requirements

28. The improvement plans shall be prepared by a Registered Civil Engineer, licensed in the State of California, shall be submitted for the review and approval of the City Engineer.
29. The improvement plans shall illustrate public street frontage improvements, grading, paving, utilities, and drainage structures to be built, lighting and trash collection. The improvements plans shall include parking lots, street and utility information including all concrete curb and gutter, sidewalk, street lights, striping and signing, paving, water lines, storm drain lines and sewer lines as necessary, erosion control and any necessary transitions.
30. The improvement plans shall illustrate how each lot shall be provided with improvements consistent with the tentative map.
31. Improvements plans shall include an erosion control (winterization) plan. The plan must include an order of work and staging/scheduling component indicating when facilities must be installed and when they may be removed. A separate Rain Event Action Plan (REAP) shall be required and prepared as part of the Storm Water Pollution Prevention Plan (SWPPP). A copy of the REAP shall be kept on-site throughout the duration of construction activities.
32. The Improvement Plans shall include the following required notes:
 - a. "Any excess materials shall be considered the property of the contractor and shall be disposed of away from the job side in accordance with applicable local, state and federal regulations."
 - b. "During construction, the Contractor shall be responsible for controlling noise, odors, dust and debris to minimize impacts on surrounding properties and roadways. Contractor shall be responsible that all construction equipment is equipped with manufacturers approved muffler's baffles. Failure to do so may result in the issuance of an order to stop work."
 - c. "If at any time during earth disturbing activities a concentration of artifacts or a cultural deposit is encountered, work shall stop in the immediate area and the construction manager shall contact the City and a qualified archeologist."

- d. "If human remains are encountered anywhere on the project site, all work shall stop in the immediate area and the construction manager shall contact the City, the County Coroner and a qualified archeologist."
- e. "If paleontological resources or unique geologic features are encountered during construction, all work shall stop in the immediate area and the construction manager shall contact the City and a qualified paleontologist."
- f. "Construction work hours shall be consistent with the Rohnert Park Municipal Code, Noise Ordinance.
- g. "All existing overhead utilities (of 26,000 volts or less) and proposed utilities, both on-site and along project frontages, shall be placed underground. This does not include surface mounted transformers, pedestal mounted terminal boxes and meter cabinets."
- h. "If hazardous materials are encountered during construction, the contractor will halt construction immediately, notify the City of Rohnert Park, and implement remediation (as directed by the City or its agent) in accordance with any requirements of the North Coast Regional Water Quality Control Board."
- i. "The contractor(s) shall be required to maintain traffic flow on affected roadways during non-working hours, and to minimize traffic restriction during construction. The contractor shall be required to follow traffic safety measures in accordance with the Cal Trans "Manual of Traffic Safety Controls for Construction and Maintenance Work Zones." The City of Rohnert Park emergency service providers shall be notified of proposed construction scheduled by the contractor(s) in writing and at least 24 hours in advance of its proposed schedule of work."

Site Civil and Landscape Plans

- 33. The improvement plans shall include Street Signing and Pavement Marking Plan for review and approval by the City Engineer. Striping, pavement markings and traffic signage shall be provided on all streets as necessary and as required by the City Engineer. Speed limit signs shall be installed at locations determined by the City Engineer.
- 34. The improvement plans shall include an all-way stop at the intersection of Martin Avenue and Dowdell Avenue.
- 35. The striping plan shall include restriping of Martin Avenue to include dual westbound lanes between the Costco driveway and Dowdell Avenue, with the outer through lane becoming a right-turn lane at the Dowdell Avenue intersection.
- 36. The street cross-sections shown on the tentative map are hereby acceptable as alternatives to following existing city standards:
 - a. The proposed Public Avenue, Labath Avenue is conceptually acceptable and considered consistent with City Standard STD-200F.
 - b. The proposed Public Avenue, Dowdell Avenue is conceptually acceptable and considered consistent with City Standard STD-200H.

- c. The proposed Industrial Street, Carlson Avenue is conceptually acceptable and considered consistent with City Standard STD-200H.
37. Sidewalk warps shall be provided to allow a clear five foot walkway at all locations, including areas where mailboxes, streetlights, street signs and fire hydrants are to be installed.
 38. One-inch chases shall be installed to all parkway strips from adjacent parcels to allow for the installation of irrigation lines in the future.
 39. For streets along established bus routes, improvement design shall be coordinated with Sonoma County Transit Agency.
 40. The improvement plans shall illustrate handicap ramps and parking as required by State of California Title 24.
 41. Driveway entrances shall be designed to meet the requirements of the City Standards and the City Engineer. All driveways shall be per City standards for commercial developments.
 42. Street lighting shall be designed in accordance with City of Rohnert Park and PG&E requirements. Street light design, spacing, and locations shall be approved by the City Engineer. Electrical service points shall be shown on the plans based on PG&E provided locations.
 43. Landscape plans shall be submitted with the civil improvement plans. Sidewalk alignment shall be shown on both the civil and landscape plans.
 44. The existing rock-lined bio-swales in the public right-of-way along the Dowdell Avenue frontage shall be landscaped. Any trees planted in or near the bio-swale area may not interfere with the storm drain pipes located in the swales.
 45. Site design shall include pedestrian pathways and crossings connecting onsite activity centers.
 46. The improvement plans shall show bicycle racks on-site in accordance with City Standards, which require individually mounted inverted-U-shaped racks. The number of bicycled parking spaces shall be consistent with the MND.
 47. The site design shall include adequate fire lanes and other emergency facilities as determined by Department of Public Safety including any NO PARKING lanes, turnarounds, or other features as required by the Rohnert Park Department of Public Safety.
 48. The improvement plans for Carlson Avenue shall include fencing and landscaping along the northerly side of Carlson Avenue to screen the KRCB property (APN 143-040-133). The landscaping and fencing shall be coordinated with a similar screening feature facing Dowdell Avenue.

Hydrology, Storm Water and Storm Drain

49. The applicant shall submit to the City of Rohnert Park for review and approval, drainage plans, hydrologic, and hydraulic calculations pipe sizing and storm drain plans prepared by a Registered Civil Engineer licensed in the State of California. The

drainage plans and calculations shall indicate the following conditions before and after development:

- a. A site-specific hydrology and drainage study acceptable to the City showing the increase in storm water runoff that would result from development of the Project site.
 - b. Quantities of water, water flow rates, drainage areas and patterns and drainage courses.
 - c. Hydrology shall be per current Sonoma County Water Agency Standards.
50. The improvement plans shall reflect the results of the hydraulic study. The storm drain system shall be designed to meet the requirements of the Sonoma County Water Agency Flood Control Design Criteria (latest revision), specific to the Project and these conditions.
 51. The improvement plans shall incorporate features and design such that there shall be no net change in the storm water peak in the 85% - 24 hour storm event.
 52. The applicant shall prepare and implement a site specific storm water pollution prevention plan acceptable to the City that identifies best management practices for effectively reducing discharges of storm water containing sediment and construction wastes resulting from site construction activities. The applicant shall comply with all other requirements set forth in City's stormwater permit.
 53. The improvement plans shall be in conformance with the City of Santa Rosa and Sonoma County Storm Water Low Impact Development Technical Design Manual (latest edition). The plans shall be in general conformance with the Preliminary Storm Water Mitigation Plan for The Residences at Five Creek, prepared by Civil Design Consultants, Inc., July 2016. The final improvement plans shall include a tributary area map showing how each portion of the site is directed to a treatment measure.
 54. Discharge of runoff onto pavement should be avoided.
 55. The improvement plans shall include storm drainage improvements to remove oil and grease from discharges from parking lots, including directing runoff to vegetated swales or areas, consistent with best management practices (BMPs).
 56. The site plans shall show all private storm drains serving adjacent property (ies) and those storm drains shall be contained within private storm drain easements in favor of adjacent property (ies).
 57. The applicant shall be responsible for obtaining all approvals, permits and other entitlements for installation of proposed new storm drain outfalls discharging into creeks.
 58. Proposed public storm drains shall have a minimum diameter of 15 inches.
 59. All project related flooding impacts shall be mitigated by the project applicant. Drainage improvements shall be designed by a Civil Engineer registered in the State of California in accordance with the Sonoma County Water Agency's Flood Control Design Criteria. Public and private drainage improvements shall be shown on the

improvement plans and shall be approved by the Sonoma County Water Agency (SCWA) prior to approval by the City Engineer.

60. No lot to lot drainage is allowed. No concentrated drainage may discharge across sidewalks. All site drains must be connected to the public storm drain system, or discharged through the face of curb or to an established waterway. A minimum of two curb drains will be required to drain residential lots.
61. Plans and certifications shall demonstrate compliance of all improvements, including building pads and finished floor elevations, with the City's Flood plain Ordinance, to the satisfaction of the Building Official and City Engineer. Pad elevations shall be constructed at a minimum of 1 foot above the 100-year Floodplain as determined by the City and certified by the project engineer.
62. Site drainage design must include facilities for the containment of recycled water runoff due to over irrigation, system leakage or control failure.

Water System Requirements

63. The water system improvement plans shall be accompanied by a hydraulic model run, or alternative form of calculation, demonstrating that the fire flows and pressures required for the project, including the hotel and retail elements, can be achieved with the proposed water system improvements. These calculations are subject to the approval of the City Engineer and Fire Marshall.
64. The improvement plans shall show backflow prevention devices in accordance with the requirements of the City of Rohnert Park's Backflow Prevention Ordinance.
65. The applicant shall indicate in writing to the City of Rohnert Park the disposition of any water well(s) and any other water that may exist within the site. All wells shall be abandoned, properly sealed, and destroyed in accord with State of California Health Department Requirements.
66. Each individual multifamily and/or commercial unit shall be sub-metered off a master City water meter.
67. The improvement plans shall show water services to the building. All water meters shall be located within the right-of-way unless otherwise approved by the Development Services Department. The improvement plans shall show fire protection in accordance with the requirements of Rohnert Park Fire Department.
68. The improvement plans shall show hydrants placed per the direction of the Rohnert Park Fire Division.
69. The improvement plans shall include a note that states "All hydrants shall be covered with bags indicating that the hydrant is not active until flow tests are completed by the City and the hydrants are approved."

Sewer System Requirements

70. The improvement plans shall show any existing septic systems on the property and state they shall be abandoned in accordance with the requirements of the Sonoma County Public Health Service.

71. The improvement plans shall illustrate any grease traps required for commercial kitchen or restaurant facilities in accordance with the requirements of the Santa Rosa Subregional System and the City of Rohnert Park Design Standards.
72. Sanitary sewer connections shall be provided to the floor sump in all trash dumpster enclosures.
73. A sanitary sewer application shall be submitted to the Development Services for review and approval. Application shall indicate the type of discharge proposed.
74. The improvement plans shall show that all manholes shall be provided with a gasket.
75. Sewer grades must be designed such that ultimate finished floors are a minimum of 12" above upstream manhole or clean-out rim elevations

Recycled Water System Requirements

76. The improvement plans shall show recycled water use for irrigation. A booster pump may be needed.
77. The recycled water system improvements shall be designed in accordance with the City of Santa Rosa's Recycled Water Users Guide, the City of Santa Rosa and City of Rohnert Park standards, Title 22 of the California Code of Regulations and the requirements of the North Coast Regional Water Quality Control Board.
78. All recycled water mains, service laterals, plumbing, valves, pipes, appurtenances, irrigation parts, vaults and boxes must be purple. Recycled water notification signs shall be installed as directed by the City Engineer. Recycled water spray, mists and ponding must not be present in any designated eating area. All drinking fountains must be positioned or shielded to eliminate any exposure to recycled water sprays or mists.
79. Recycled water/potable water dual plumbing design and layout, construction-installation and final inspection review for individual lots or grouping of lots must be performed by an AWWA certified Cross Connection Specialist and all deficiencies must be corrected at the applicant's expense. Written reports of the Cross Connection Specialist's finding must be submitted to and approved by the City.

Dry Utility System Requirements

80. Utility plans within existing or proposed public right-of-way for electric, gas, telephone, cable and fiber optic (joint trench) shall be submitted to the City Engineer for review. All above-ground structures shall be specifically approved by the Director of Development Services.
81. Improvement plans shall show that all utility distribution facilities, including any existing overhead utilities (of 26,000 volts or less) along the project frontage, shall be placed underground or removed, except surface-mounted transformers, pedestal mounted terminal boxes, meter cabinets, fire hydrants and street lights. Appropriate easements shall be provided to facilitate these installations.

Prior to the Issuance of Grading Permits and/or Improvement Agreements

82. Prior to the issuance of the first grading permit, the applicant shall post a cash deposit of \$62,995, as set forth in the Offsite Public Improvement and Fee Credit Agreement and Termination and Supersession of Deferred Improvement Agreement between the City of Rohnert Park and the Reserves LLC for Carlson Avenue (referred to as “Carlson Court”) and entered into as of May 21, 2015. Alternatively, the Developer may provide City with proof of payment to Reserves LLC.
83. No construction activity may commence until the applicant has demonstrated to the City that it has filed a Notice of Intent to comply with the Terms of General Permit to Discharge Storm Water Associated with Construction Activity (NOI) with the State of California Water Resources Control Board.
84. The applicant shall secure an encroachment permit from the City prior to performing any work within the City right of way or constructing a City facility within a City easement.
85. The applicant shall secure a letter from Sonoma County Transit Agency indicating the acceptability of proposed transit stops.
86. If the site will require import or export of dirt, the applicant shall submit in writing the proposed haul routes for the trucks and equipment. The haul routes must be approved by the City prior to import/export work commencing.
87. For a grading permit, the applicant shall secure an approval of a grading plan prepared by a Registered Civil Engineer licensed in the State of California, pay all required fees and post sufficient surety guaranteeing completion.
88. For Improvement Agreements, the applicant shall secure approval of the improvement plans prepared by a Registered Civil Engineer licensed in the State of California and pay all required fees, shall enter into an Improvement Agreement guaranteeing completion within 24 months and shall post sufficient surety guaranteeing completion.
89. Prior to the issuance of the improvement agreement that includes the Hinebaugh Creek outfall pipeline, the applicant shall demonstrate that it has obtained permits from all applicable regulatory agencies, including but not limited to, Regional Water Quality Control Board, State Department of Fish and Game, and the US Fish and Wildlife Service.

Prior to the Issuance of the First Building Permit

90. The Final Parcel Map shall be approved.
91. The applicant shall provide pad certifications for the site on which the building permit is requested.
92. By payment of its PFFP fees, the project proponent shall fulfill the environmental mitigation requirement to participate in funding a traffic signal at Redwood Drive/Business Park Drive intersection.

93. By payment of its PFFP fees project, the project proponent shall fulfill the environmental mitigation requirement to participate in funding a right-of-way overlap on the westbound Rohnert Park Expressway approach.
94. The applicant shall provide proof of payment of any impact fees required by the school district that serves the property.
95. The applicant shall demonstrate adequate fire flows for the project to protect combustible construction in accordance with the Municipal Code and to the satisfaction of the City's Fire Marshall.
96. The applicant shall have constructed adequate (a minimum of 10 feet) fire access for the site.
97. If necessary, the applicant shall provide the city with signed deeds for all on-site and off-site rights-of-way and easements; or the project proponent shall execute the standard city contract for real property acquisition and deposit the estimated acquisitions costs into a city trust account, and the project proponent shall formally request and the city council approve a resolution of intent to use its powers of condemnation to acquire the rights-of-way and/or easements.
98. The applicant shall implement the following CALGreen requirements:
 - a. Review page 4 Residential and Commercial Summary Table and identify the location of the features listed on page 18 figure 17.
 - b. For the residential project provide electric vehicle and bicycle parking (A4.106.8 Electric vehicle (EV) charging and A4.106.9 Bicycle parking).
 - c. For non – Residential projects, provide bicycle parking, designated parking for fuel efficient vehicle and electric vehicle supply wiring (5.106.4 Bicycle parking, A5.106.5.1.1 Designated parking for fuel-efficient vehicles, and A5.106.5.3 Electric vehicle supply wiring).
 - d. Provide additional CalGreen implementation as required by the project MMRP.

During Construction

99. All construction shall conform to the City's most current Manual of Standards, Details, and Specifications latest edition, all City Ordinances and State Map Act and the approved plans.
100. The applicant shall complete all water and wastewater improvements, including pressure and bacterial testing and raising manholes and cleanouts to grade prior to connection of any improvements to the City water or wastewater systems.
101. If any hazardous waste is encountered during the construction of this project, all work shall be immediately stopped and the Sonoma County Environmental Health Department, the Fire Department, the Police Department, and the Development Services Inspector shall be notified immediately. Work shall not proceed until clearance has been issued by all of these agencies.
102. Prior to final preparation of the sub-grade and placement of base materials, all underground utilities shall be installed and service connections stubbed out behind the

sidewalk. Public utilities, Cable TV, sanitary sewers, and water lines, shall be installed in a manner which will not disturb the street pavement, curb, gutter and sidewalk, when future service connections or extensions are made.

103. Prior to placing the final lift of asphalt, all public sanitary sewer lines shall be video inspected at the expense of the contractor/applicant. All video disks shall be submitted to the City. If any inadequacies are found, they shall be repaired prior to the placement of the final lift of asphalt.
104. The applicant shall be responsible to provide erosion and pollution control in accordance with the approved plans and permits.
105. The applicant shall keep adjoining public streets free and clean of project dirt, mud, materials, and debris during the construction period.
106. If grading is to take place between October 15 and April 15, both temporary and permanent erosion control measures, conforming to the project erosion control plans shall be in place before October 1st. Erosion control measures shall be monitored and maintained continuously throughout the storm season.
107. The following minimum Best Management Practices (BMPs) shall be required during construction:
 - a. Construction crews shall be instructed in preventing and minimizing pollution on the job.
 - b. Construction entrances/exits shall be stabilized to prevent tracking onto roadway.
 - c. Exposed slopes shall be protected from erosion through preventative measures.
 - d. Use brooms and shovels when possible to maintain a clean site
 - e. Designate a concrete washout area. Maintain washout area and dispose of concrete waste on a regular basis.
 - f. Establish a vehicle storage, maintenance, and refueling area.
 - g. Protect drain inlets from receiving polluted storm water through the use of filters such as fabrics, gravel bags or straw wattles.
 - h. Have necessary materials onsite before the rainy season.
 - i. Inspect all BMPs before and after each storm event. Maintain BMPs on a regular basis and replace as necessary, through the entire course of construction.
 - j. All construction implementation measures as outlined in the MMRP.
108. Where soil or geologic conditions encountered in grading operations are different from that anticipated in the soil and/or geologic investigation report, or where such conditions warrant changes to the recommendations contained in the original soil investigation, a revised soil or geologic report shall be submitted for approval by the City Engineer. It shall be accompanied by an engineering and geological opinion as to the safety of the site from hazards of land slippage, erosion, settlement, and seismic activity.

109. The Project shall comply with the City's Municipal Code, including hours of construction. All construction equipment shall be adequately muffled and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
110. Hours of work shall be limited to between 8 a.m. to 6 p.m. Monday through Friday. Work on Saturday or Sunday will only be permitted with written permission from the City. Requests for extended hours must be submitted 72 hours in advance.
111. Throughout the construction of the project, dust control shall be maintained to the satisfaction of the City, including all measures in the MMRP and the contractor shall be responsible to implement reasonable measure to cure any problems that may occur. At a minimum the dust control measures will include:
- Cover all trucks hauling construction and demolition debris from the site.
 - Water on a continuous as-needed basis all earth surfaces during clearing, grading, earthmoving, and other site preparation activities.
 - Use watering to control dust generation during demolition of structures or break-up of pavement.
 - Pave, apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved parking areas and staging areas.
 - Sweep daily (with water sweepers) all paved areas and staging areas.
 - Provide daily clean-up of mud and dirt carried onto paved streets from the site.
 - Renovation, demolition activities, removal or disturbance of any materials that contain asbestos, lead paint or other hazardous pollutants will be conducted in accordance with BAAQMD rules and regulations.
 - Properly maintain all construction equipment.
 - For construction sites near sensitive receptors (or if residential development occurs prior to commencement of commercial development):
 - Install wheel washers for all existing trucks, or wash off the tires or tracks of trucks and equipment leaving the site.
 - Suspend dust-producing activities during periods when instantaneous gusts exceed 25 mph when dust control measures are unable to avoid visible dust plumes.
 - Limit the area subject to excavation, grading and other construction or demolition activity at any one time.
 - For sites greater than four acres:
 - Apply soil stabilizers to previously graded portions of the site inactive for more than ten days or cover or seed these areas.
 - Water or cover stockpiles of debris, soil, sand, or other materials that can be blown by the wind.
 - Limit traffic speeds on unpaved roads to 15 mph.
 - Replant vegetation in disturbed areas as soon as possible.
112. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes (as required by the California

airborne toxics control measure Title 13, Section 2485 of California Code of Regulations). Clear signage regarding idling restrictions shall be provided for construction workers at all access points.

113. The prime construction contractor shall post a publicly visible sign with the telephone number and person to contact at the construction site and at the City of Rohnert Park regarding dust complaints. The prime construction contractor shall respond and take corrective action within 48 hours. The Air district's phone number shall also be visible to ensure compliance with applicable regulations.
114. Construction firms shall be required to post signs of possible health risk during construction. The developer is responsible for compliance with the BAAQMD rule regarding cutback and emulsified asphalt paving materials. In addition, the construction contractors will implement a plan to use newer construction equipment that meets the NO_x emissions standard of 6.9 grams per brake-horsepower hour for work constructed within 200 feet of residences.
115. The project applicant shall ensure that construction contract specifications include a requirement that all off-road diesel-powered construction equipment used for project development with engines greater than 50 horsepower be equipped with a Level 3 Verified Diesel Emissions Control (VDEC).
116. If the existing city streets are damaged during construction, the contractor/applicant shall be responsible for repair at no cost to the city.
117. If, during construction, the contractor damages any existing facilities on the neighboring properties (i.e. fences, gates, landscaping, walls, etc.) contractor shall be responsible to replace all damaged facilities.

Prior to Occupancy

118. All streets and sidewalks shall be paved, all public utilities installed, all signage relating to traffic control (stop signs, etc.) and all streetlights must be operational.
119. All water system improvements necessary to provide fire flows and pressures shall be installed an operational
120. All improvements shown in the improvement plans deemed necessary for the health, safety and welfare of the occupant and general public shall be completed.
121. The applicant shall have entered into the City's standard Master Maintenance Agreement with the City to address long term maintenance of, among other things, the stormwater BMPs.
122. The applicant shall have entered into the City's standard Recycled Water Agreement, designate site supervisor(s) and undertake any other activities necessary.
123. The applicant shall have completed the formation of a community facilities district or other maintenance and services funding district to discharge the \$800/year/unit obligation for the residential development.

124. The applicant shall demonstrate that it has purchased and retired voluntary carbon offsets on the Climate Action Reserve (CAR), CAPCOA Greenhouse Gas Reduction Exchange (GHG Rx), or other verified carbon registry, in order to reduce the project's emissions to below the Bay Area Air Quality Management District threshold of significance of 4.6 MT CO₂E per service population per year. This shall include providing the Bay Area Air Quality Management with a certificate of purchase, verification opinion statement, and proof of offset retirement by the verification body from which the carbon offsets were purchased.

Prior to Acceptance of Public Improvements

125. All improvements shown on the Improvement Plans shall be completed.
126. All existing curb, gutter and sidewalk to remain shall be inspected by the City. Any curb, gutter and sidewalk which is not in accord with City standards or is damaged before or during construction, shall be replaced.
127. The applicant shall provide a written statement signed by his or her engineer verifying that the grading and/or drainage improvements are completed in accordance with the plans approved by the Sonoma County Water Agency, the City Engineer, and the Building Official.
128. A complete set of As-Built or Record, improvement plans on the standard size sheets shall be certified by the Civil Engineer licensed in the State of California and returned to the City Engineer's office prior to final acceptance of the public improvement. These shall show all constructive changes from the original plans including substantial changes in the size, alignment, grades, etc. during construction.
129. Approved Record Drawings shall be provided to the City geo-referenced in Autocad DWG and & PDF File formats.